
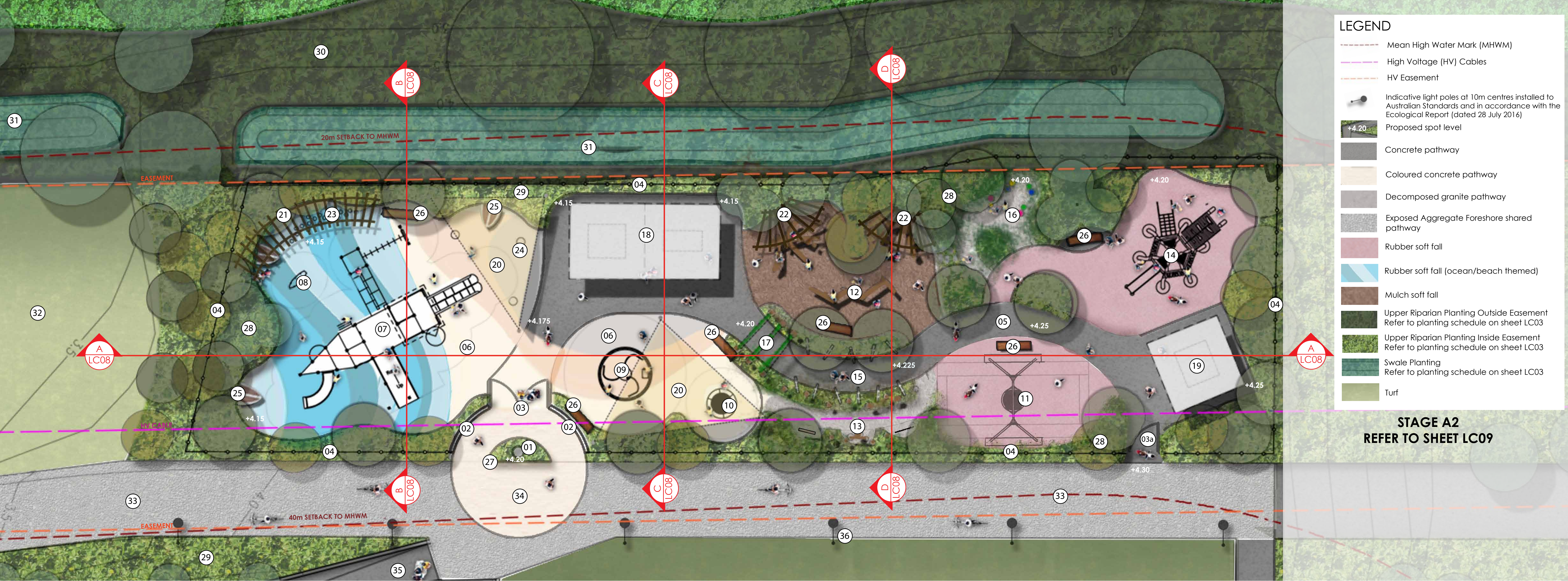


SECTION A



SECTION B

Client	Project	Project No.	Rev.	Drawn	Date	Purpose
	Woollooware Bay Town Centre	17-056W	D	AG	22.09.17	DA SUBMISSION
Title	Drawing No.	Scale	Checked			
Stage A1 - Landscape Cross Sections	LC 06	1:100@A1	JH			



KEY

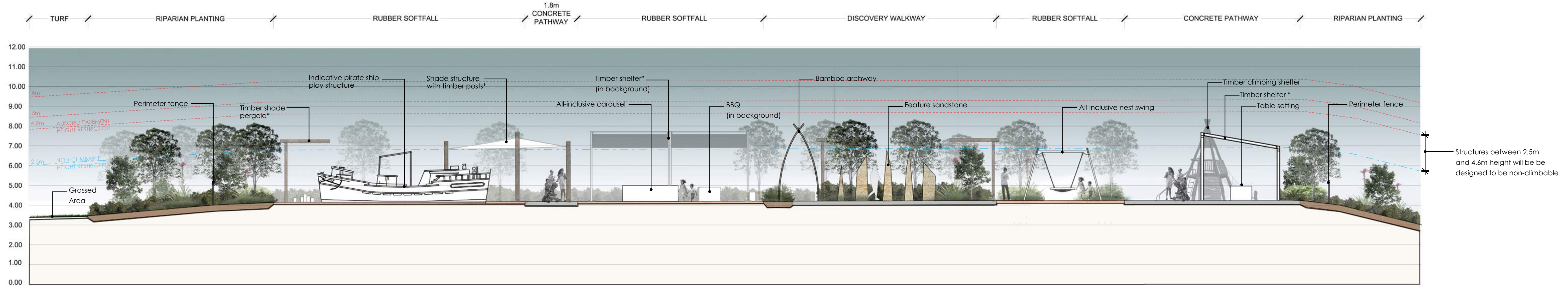
- 01 Bronze hand with butterfly sculpture in feature planting
- 02 Feature Touched by Olivia hand-print walls (1200mm)
- 03 Main entrance gates to playground
- 03a Secondary entrance gates to playground
- 04 Perimeter Fence around playground (1200mm high timber + steel)
- 05 Primary 1.8m circulation pathway
- 06 Beach and ocean themed rubber soft fall
- 07 All-inclusive feature Pirate Ship play structure
- 08 Surf-board rocker
- 09 All-inclusive carousel
- 10 Trampoline in soft fall
- 11 All-inclusive nest swing
- 12 Natural tree adventure play elements with mulch soft fall (timber balance beams, climbing equipment, stepping logs)
- 13 Interactive musical forest walk with meandering path (use of wind through "whispering poles")
- 14 Timber climbing structure
- 15 Discovery walkway (local environmental themes)
- 16 Semi-enclosed fairy themed garden and walkway
- 17 Bamboo Archway
- 18 Double timber shade shelter with BBQ and 1x table setting*
- 19 Single timber shade shelter with 1x table setting*
- 20 Shade sail structure with timber posts over play equipment*
- 21 Timber shade pergola*
- 22 Fan shaped timber pergola*
- 23 Stepping stones (under pergola)
- 24 Ocean themed play elements (under shade structure)
- 25 Raft themed seat
- 26 Timber bench
- 27 Feature planting at entry
- 28 Small feature trees
- 29 Upper Riparian Planting Inside Easement Refer to planting schedule on sheet LC03
- 30 Upper Riparian Planting Outside Easement (outside playground) Refer to planting schedule on sheet LC03
- 31 Swale Planting (outside playground) Refer to planting schedule on sheet LC03
- 32 Open turf kick-about area (outside playground)
- 33 Foreshore Shared Pathway (4m width) with exposed aggregate finish
- 34 Contrasting paving to highlight main entry to playground
- 35 1 in 20 accessible ramp and stair access between Foreshore Shared Pathway and residential buildings
- 36 Indicative light poles at 10m centres installed to Australian Standards and in accordance with the Ecological Report (dated 28 July 2016)

*Note: "non-permanent" shade structures with non-conductable roofing materials to be used. Details to be provided at detail documentation stage. Structures and materials to be in accordance with Ausgrid specification.

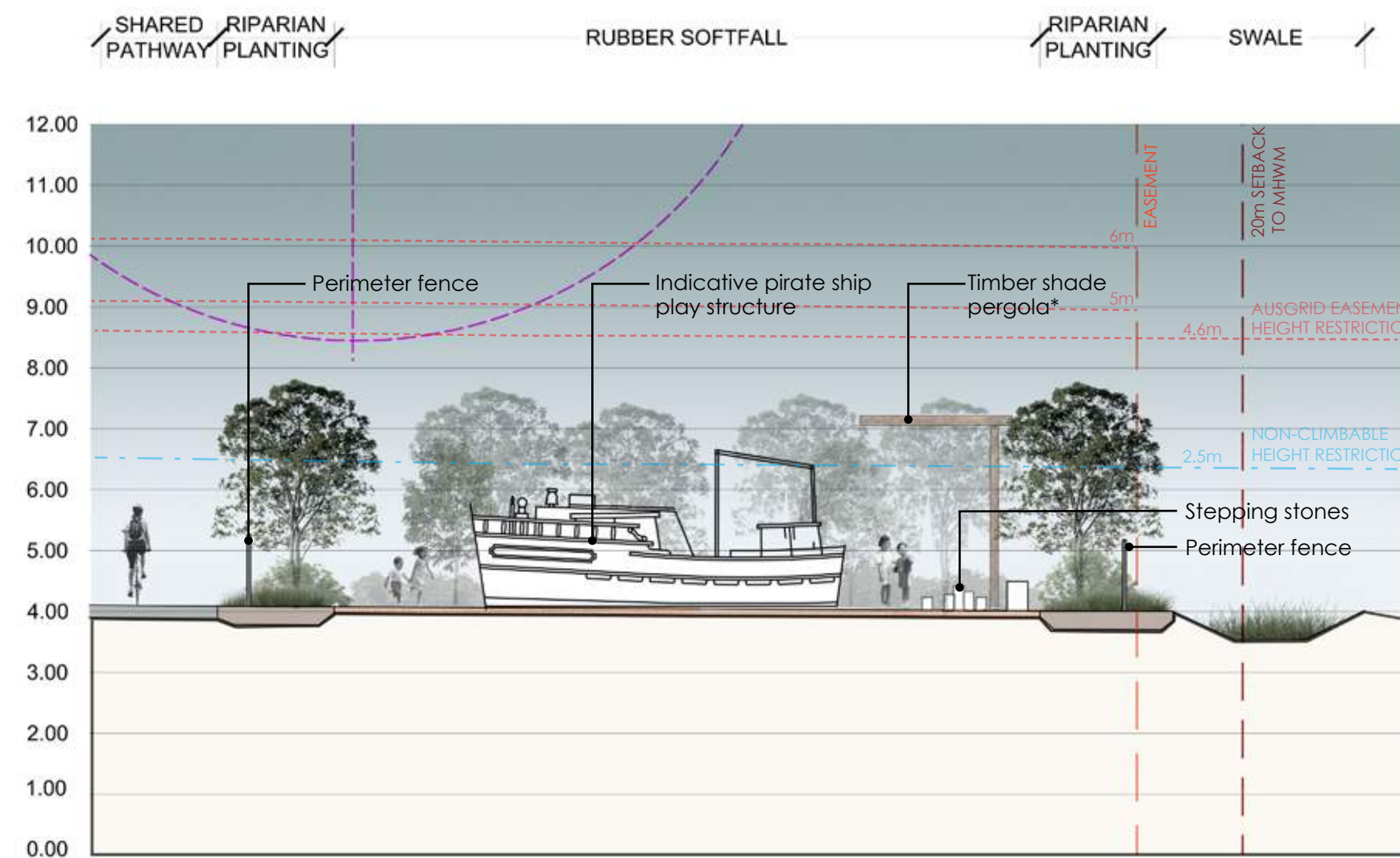


Client	Project	Project No.	Rev.	Drawn	Date	Purpose
CAPITAL BLUESTONE	Woollooware Bay Town Centre	17-056W	D	AG	22.09.17	DA SUBMISSION
	Title	Drawing No.	Scale	Checked		
	Stage A1 - Playground Landscape Plan	LC 07	1:100@A1	JH		

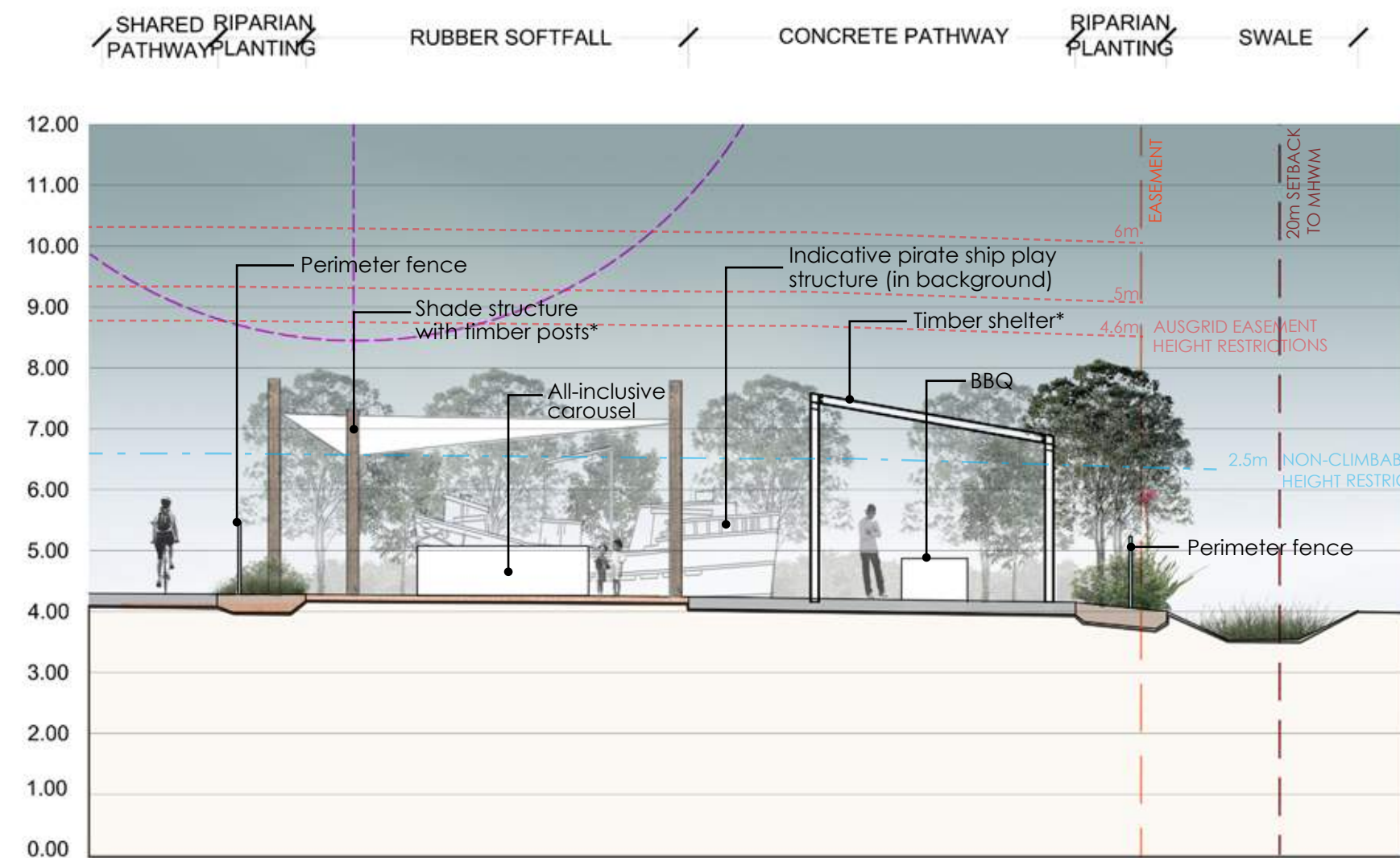




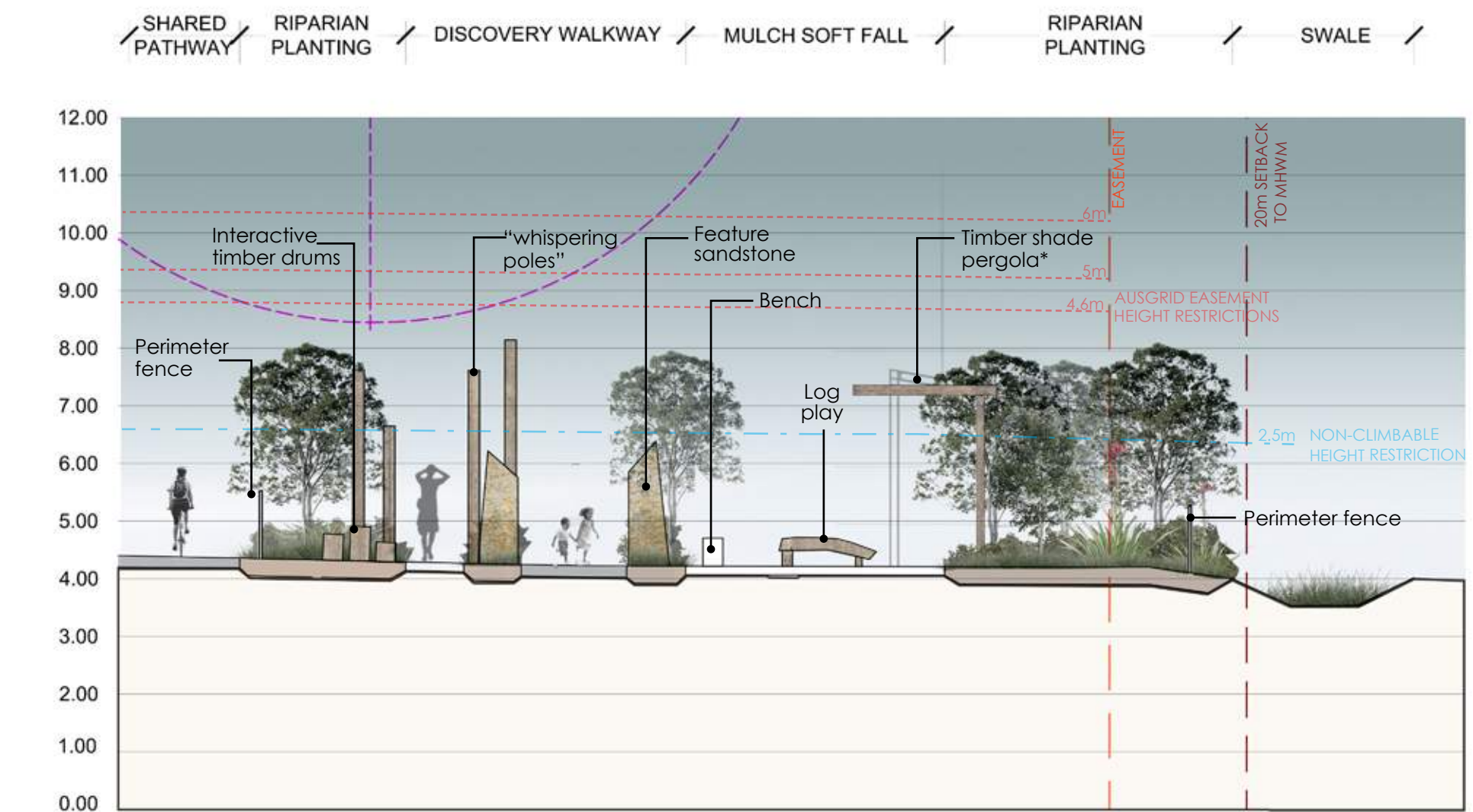
SECTION ELEVATION A



SECTION ELEVATION B



SECTION ELEVATION C



SECTION ELEVATION D

*Note: "non-permanent" shade structures with non-conductable roofing materials to be used. Details to be provided at detail documentation stage. Structures and materials to be in accordance with Ausgrid specification.

DESIGN INSPIRATION



Client	Project	Project No.	Rev.	Drawn	Date	Purpose
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Wooloware Bay Town Centre

17-056W

D

AG

22.09.17

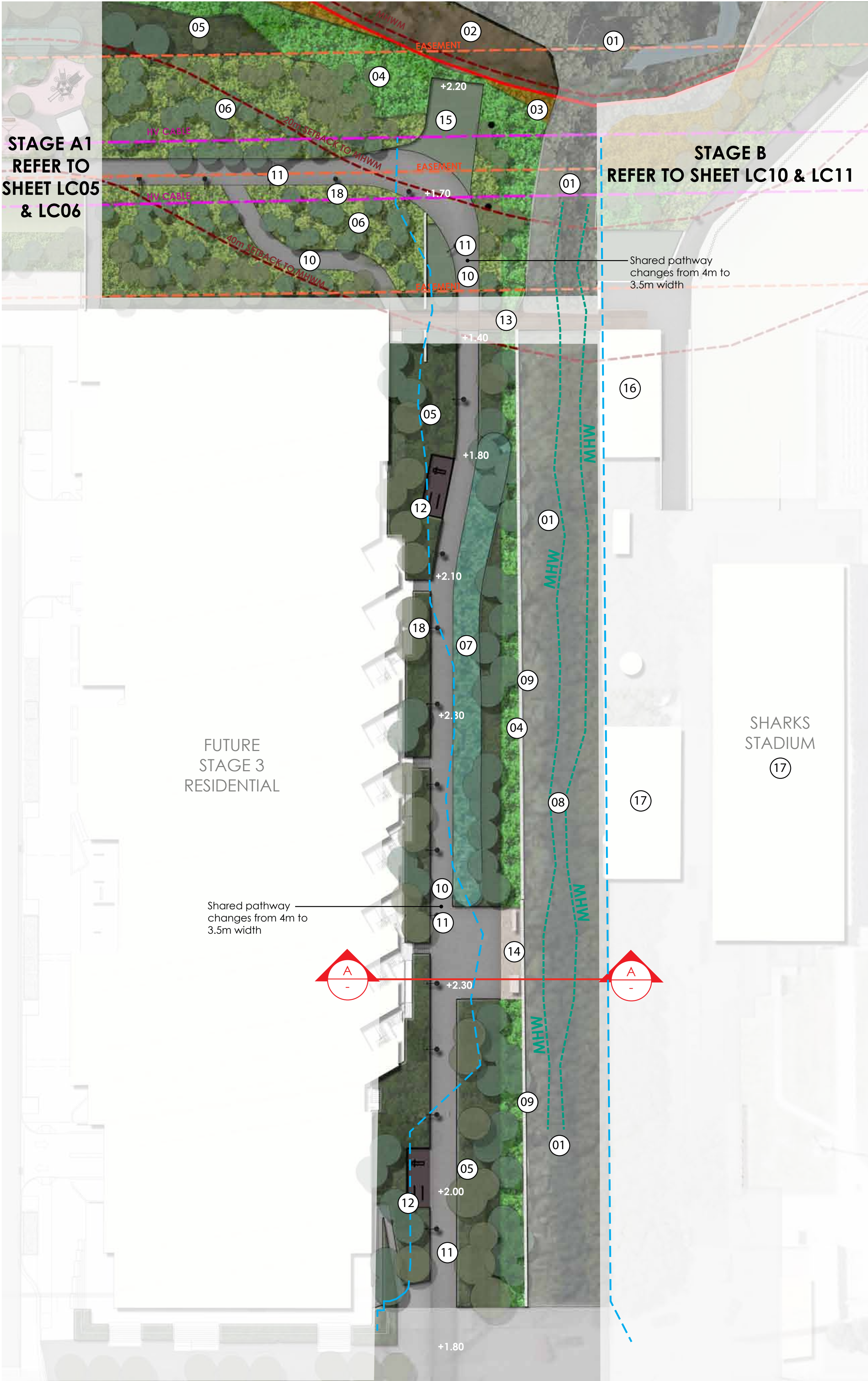
DA SUBMISSION

Title
Stage A1 - Playground Cross sections

Drawing No.
LC 08

Scale
1:100@A1

Checked
JH

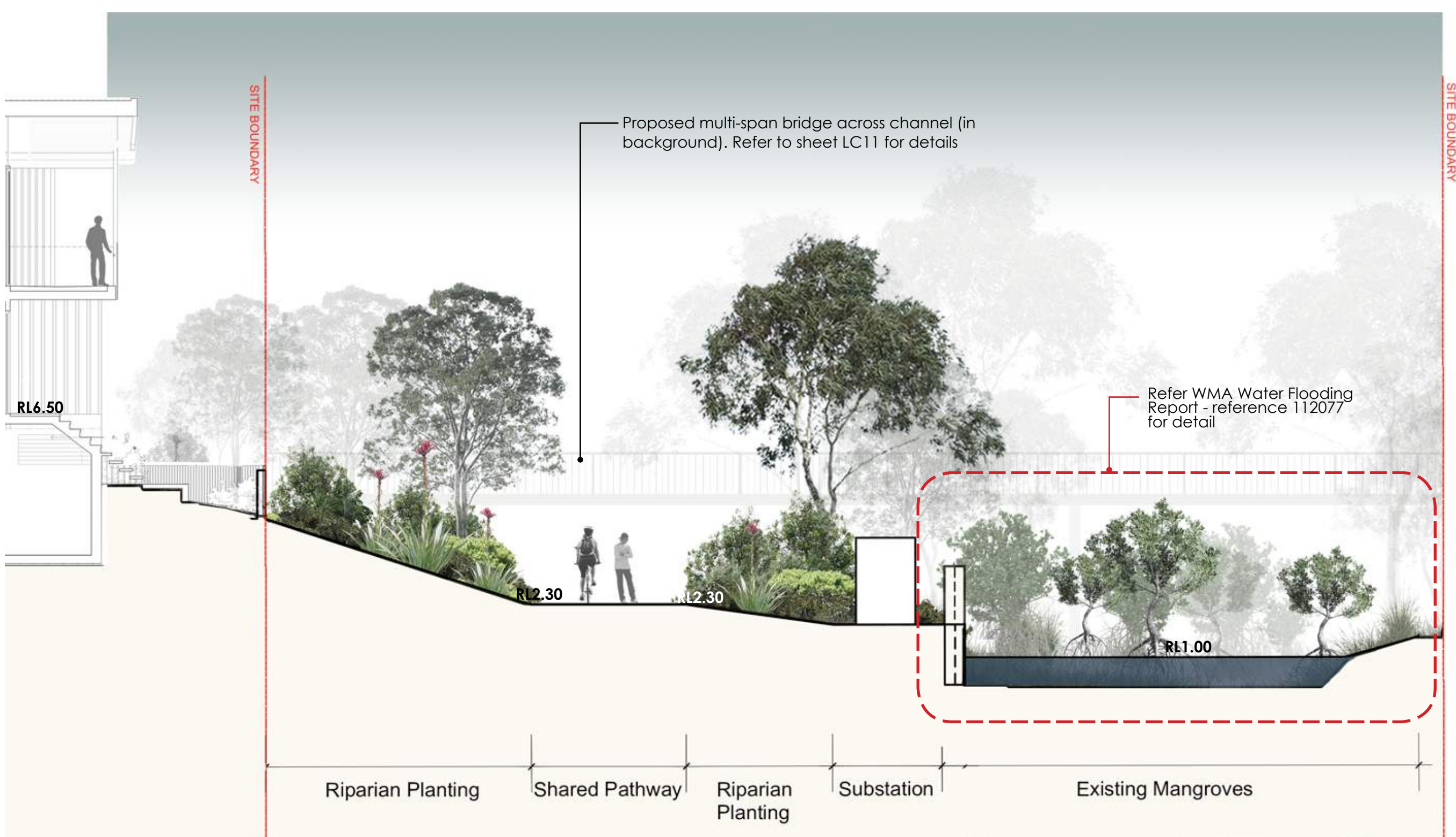


LEGEND

- Site Boundary
- Mean High Water Mark (MHWM)
- High Voltage (HV) Cables
- HV Easement
- Mean High Water
- Q100 flood extents post development 2100 sea level
- Indicative light poles at 10m centres installed to Australian Standards and in accordance with the Ecological Report (dated 28 July 2016)
- Proposed spot level
- Existing Mangroves to be retained
- Foreshore Rehabilitation Area
- Salt Marsh Planting
Refer to planting schedule on sheet LC03
- Lower Riparian Planting
Refer to planting schedule on sheet LC03
- Upper Riparian Planting Outside Easement
Refer to planting schedule on sheet LC03
- Upper Riparian Planting Inside Easement
Refer to planting schedule on sheet LC03
- Swale Planting
Refer to planting schedule on sheet LC03
- Turf Permeable Paving (heavy duty)

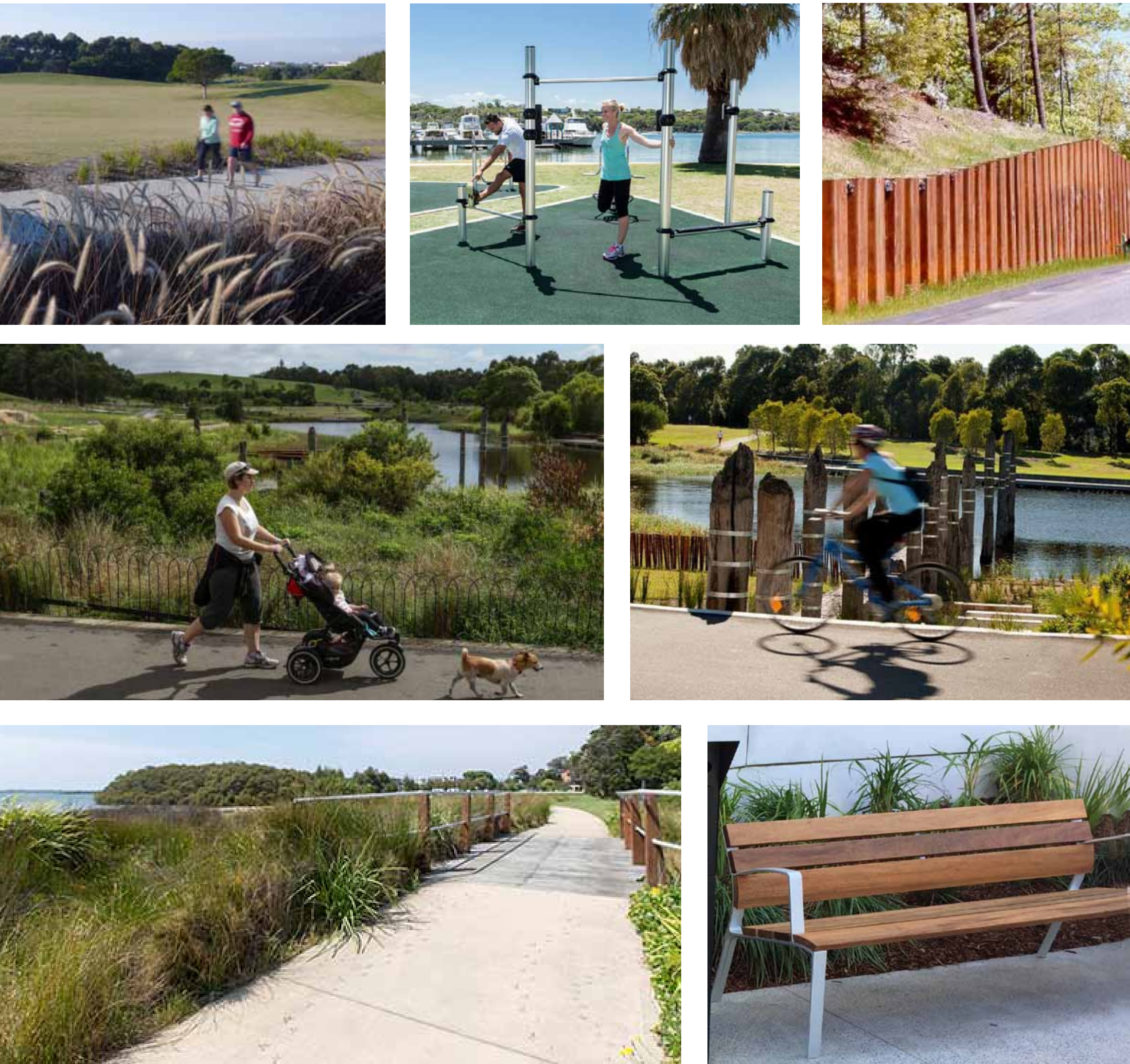
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- Existing Mangroves to be retained
- Foreshore Rehabilitation Area
- Salt Marsh Planting
Refer to planting schedule on sheet LC03
- Lower Riparian Planting
Refer to planting schedule on sheet LC03
- Upper Riparian Planting Outside Easement
Refer to planting schedule on sheet LC03
- Upper Riparian Planting Inside Easement
Refer to planting schedule on sheet LC03
- Swale Planting
Refer to planting schedule on sheet LC03
- Drainage channel
- New sheet pile wall
- Foreshore Shared Pathway (3.5m width)
- Foreshore Shared Pathway (4m width)
- Proposed Fitness Station
- Proposed multi-span bridge across channel. Refer to sheet LC11 for details
- Existing Substation/Switch board to be retained with gravel paving installed around
- Extended access road (heavy duty permeable paving for riparian grass)
- Proposed Sharks Club Compound
- Existing Sharks Club Buildings to be retained
- Indicative light poles at 10m centres installed to Australian Standards and in accordance with the Ecological Report (dated 28 July 2016)



SECTION A
1:100

DESIGN INSPIRATION



Client



Project

Woolooware Bay Town Centre

Project No.

17-056W

Rev.

D

Drawn

AG

Date

22.09.17

DA SUBMISSION

Purpose

Title

Stage A2 - Landscape Concept Plan

Drawing No.

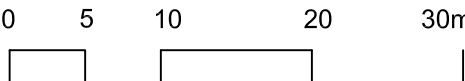
LC09

Scale

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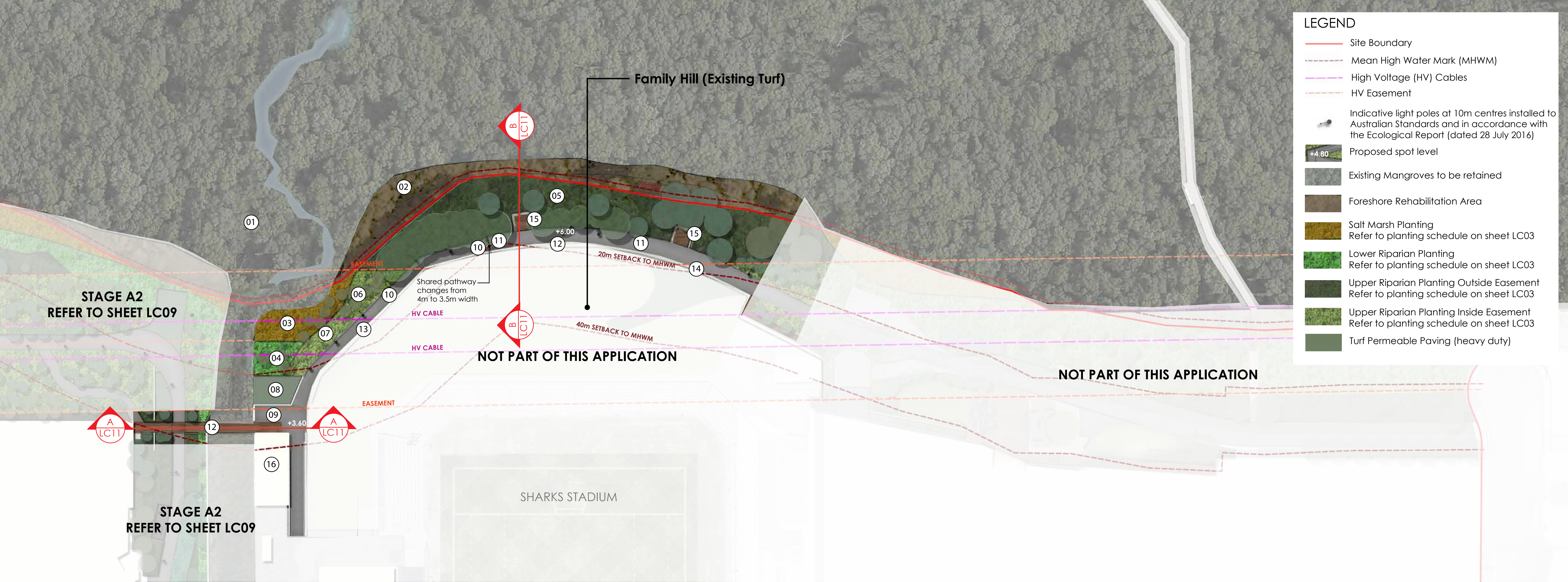
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JH



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KEY

- 01 Existing Mangroves to be retained

02 Foreshore Rehabilitation Area

03 Salt Marsh Planting
Refer to planting schedule on sheet LC03

04 Lower Riparian Planting
Refer to planting schedule on sheet LC03

05 Upper Riparian Planting Outside Easement
Refer to planting schedule on sheet LC03

06 Upper Riparian Planting Inside Easement
Refer to planting schedule on sheet LC03

07 Indicative light poles at 10m centres
installed to Australian Standards and in
accordance with the Ecological Report
(dated 28 July 2016)

08 Turf Permeable paving (heavy duty)
(lower level)
- 09 Emergency vehicle turning area (off bridge)

10 Foreshore Shared Pathway (3.5m width)

11 Foreshore Shared Pathway (4m width)

12 Proposed multi-span bridge across channel. Refer to sheet
LC11 for details

13 2m high black palisade fence (with timber posts at 3m centres)

14 Removable palisade fence panels to allow trucks to
maneuver

15 3m x 3m timber viewing platform

16 Proposed Sharks Club Compound

DESIGN INSPIRATION



Client



Project

Woollooware Bay Town Centre

Project No.

17-056W

Rev.

D

Drawn

AG

Date

22.09.17

Purpose

DA SUBMISSION

Title

Stage B - Landscape Concept Plan

Drawing No.

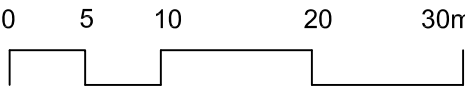
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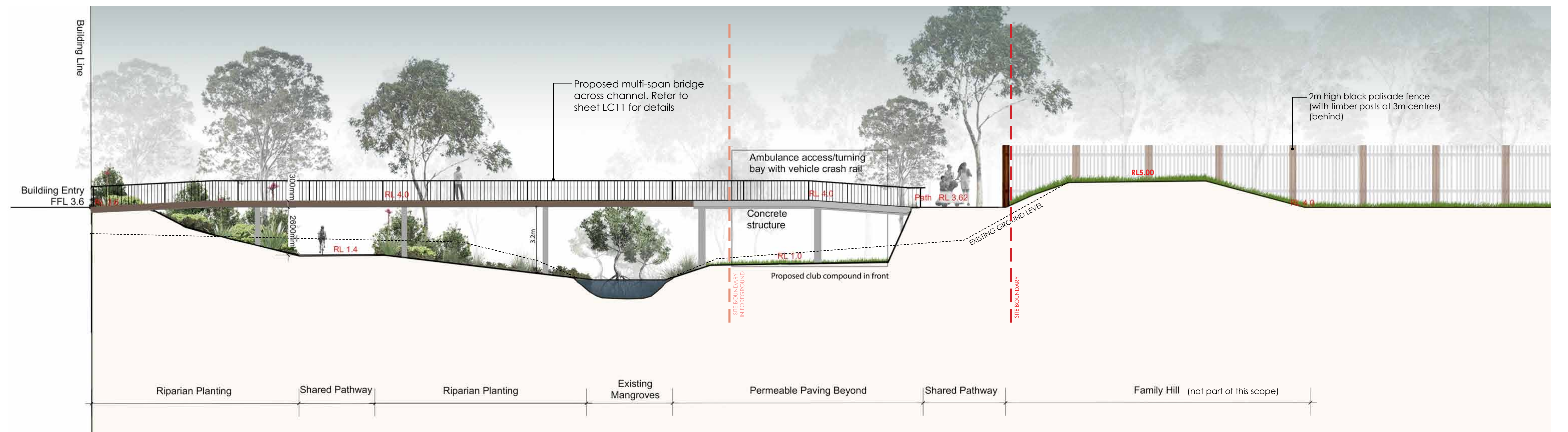
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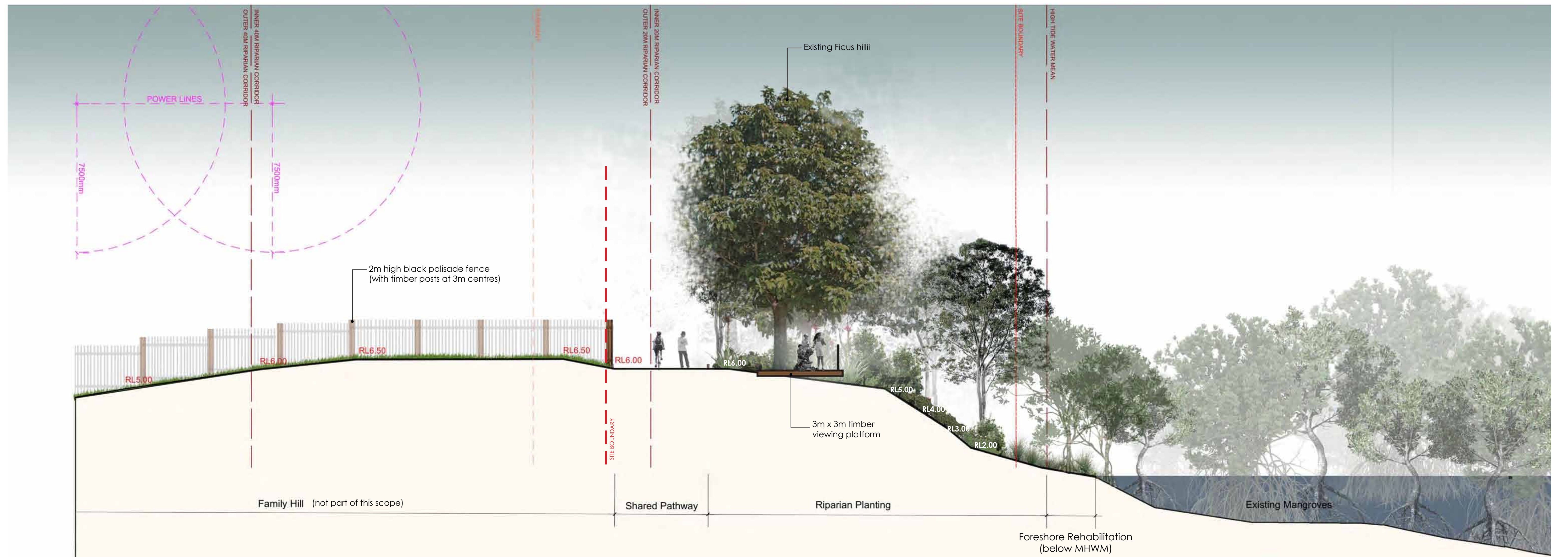


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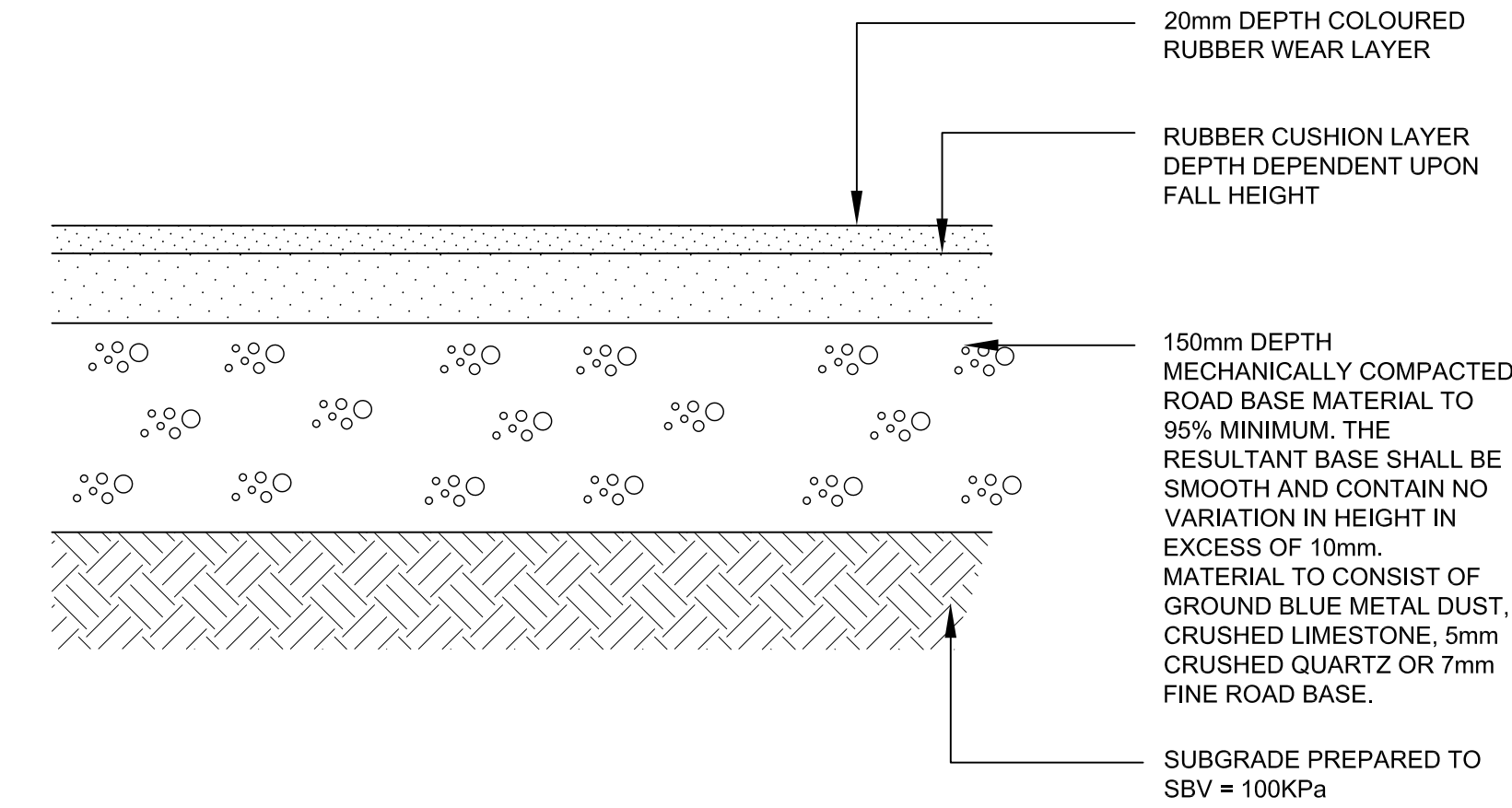


SECTION A

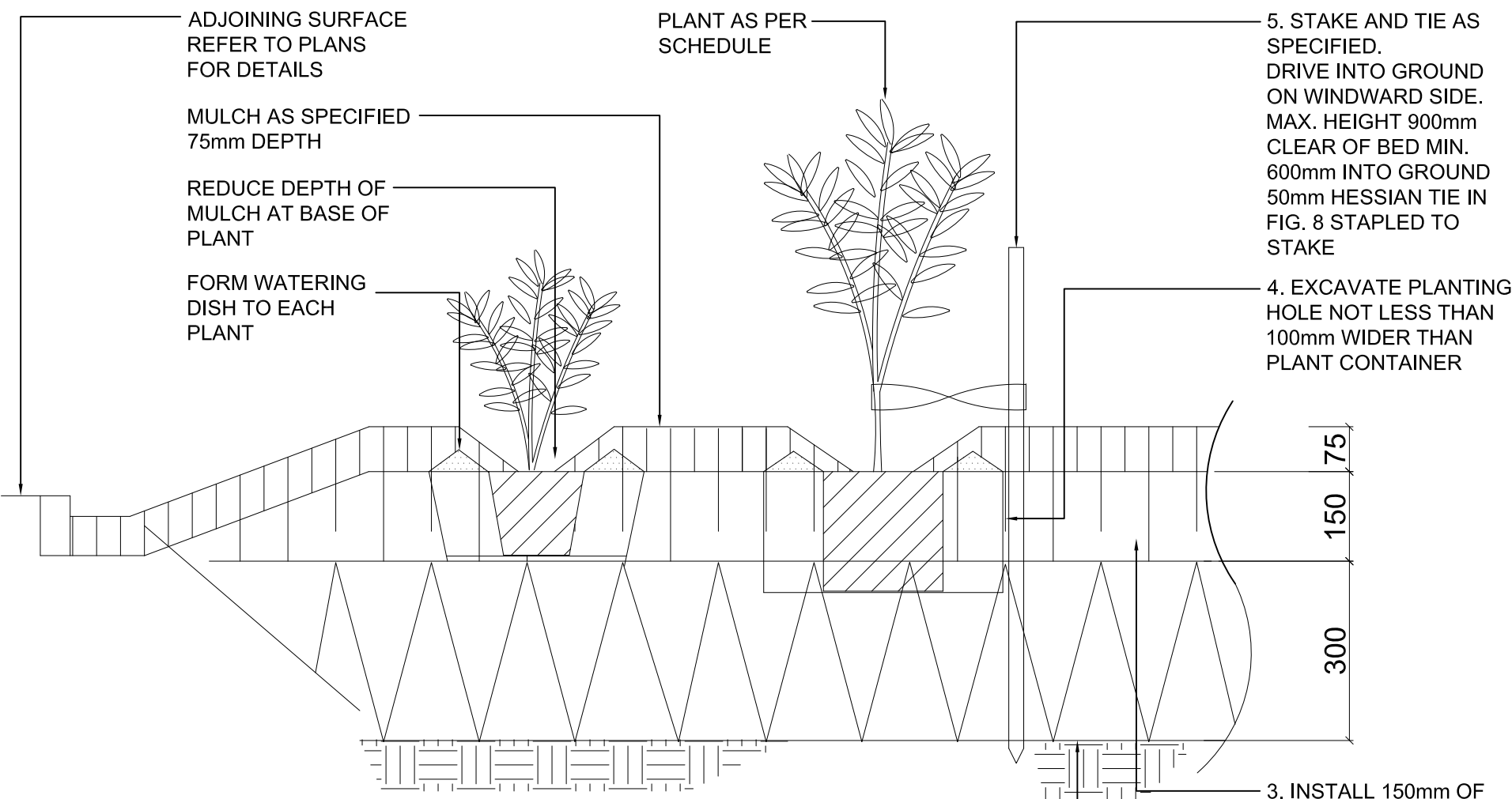


SECTION B

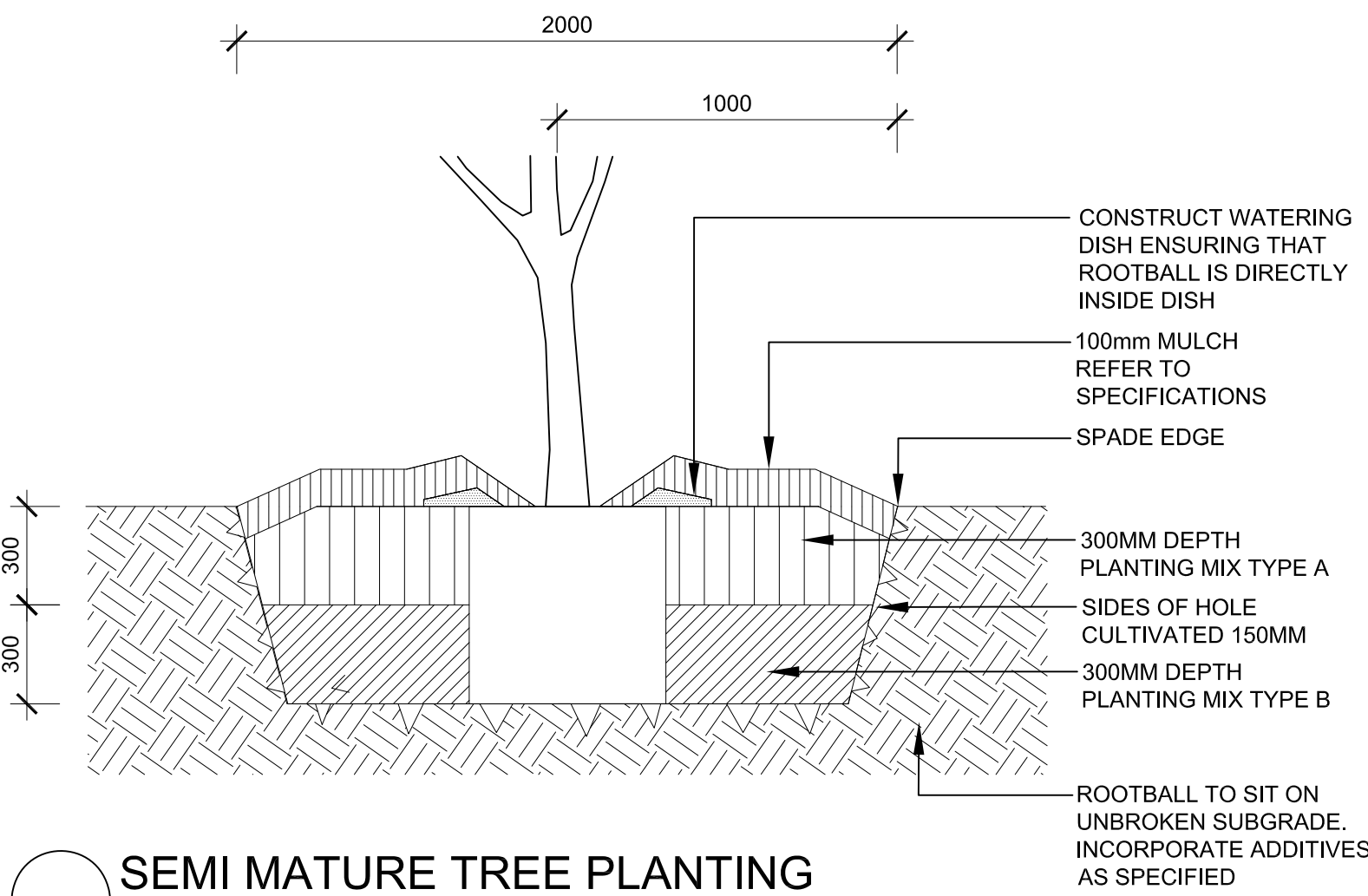
Client	Project	Project No.	Rev.	Drawn	Date	Purpose
CAPITAL BLUESTONE	Woollooware Bay Town Centre	17-056W	D	AG	22.09.17	DA SUBMISSION
	Title	Drawing No.	Scale	Checked		
	Stage B - Landscape Cross sections	LC11	1:100@A1	JH		



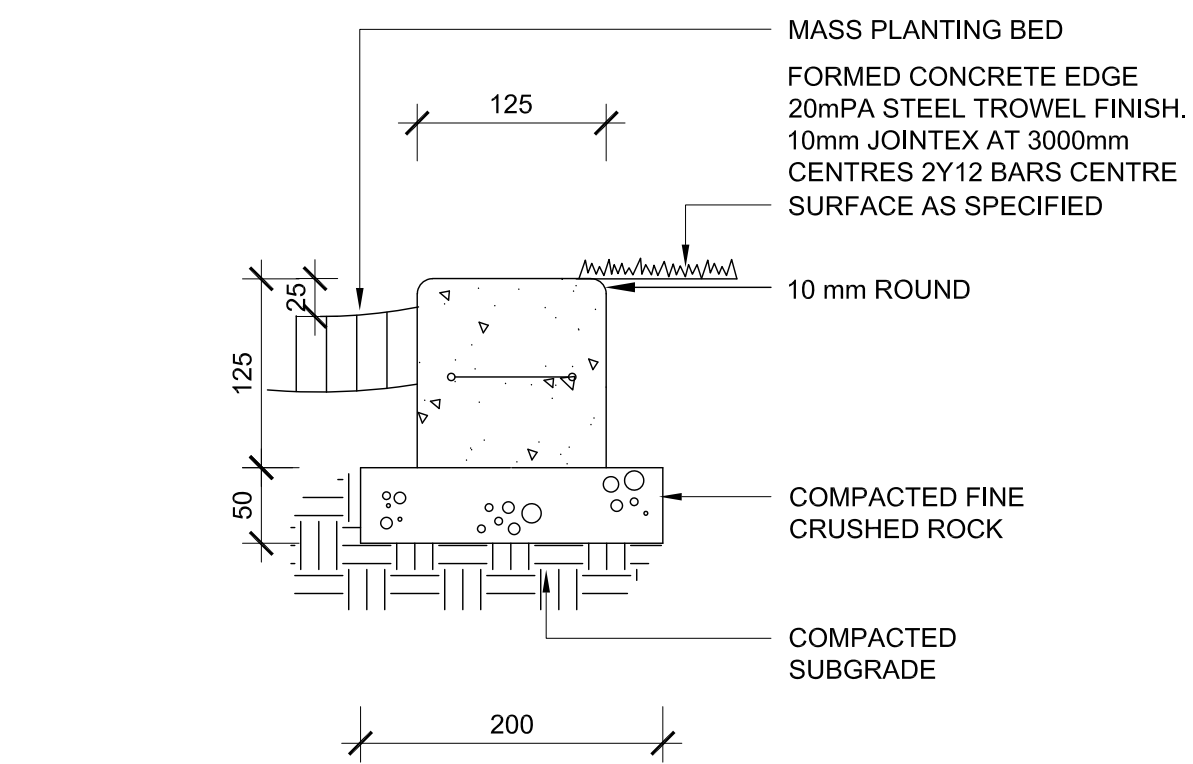
WETPOUR SOFTFALL
TYPICAL SECTION 1:5



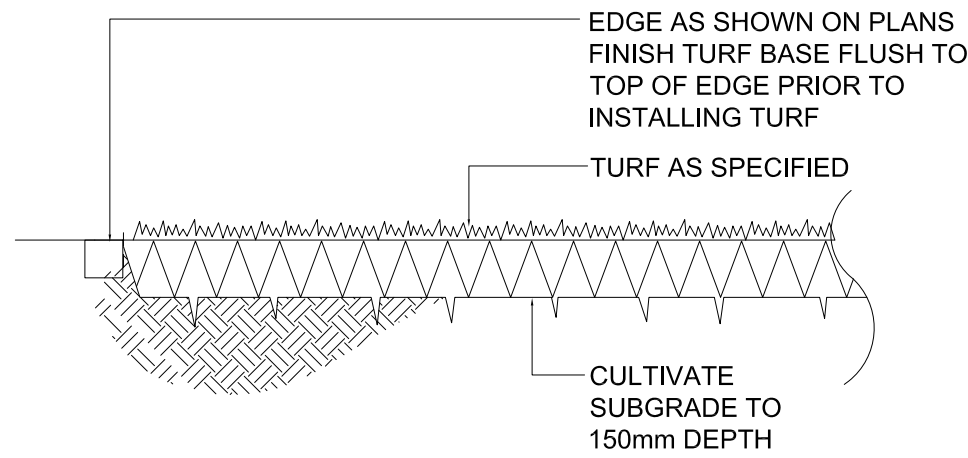
MASS PLANTING BED
TYPICAL SECTION 1:10



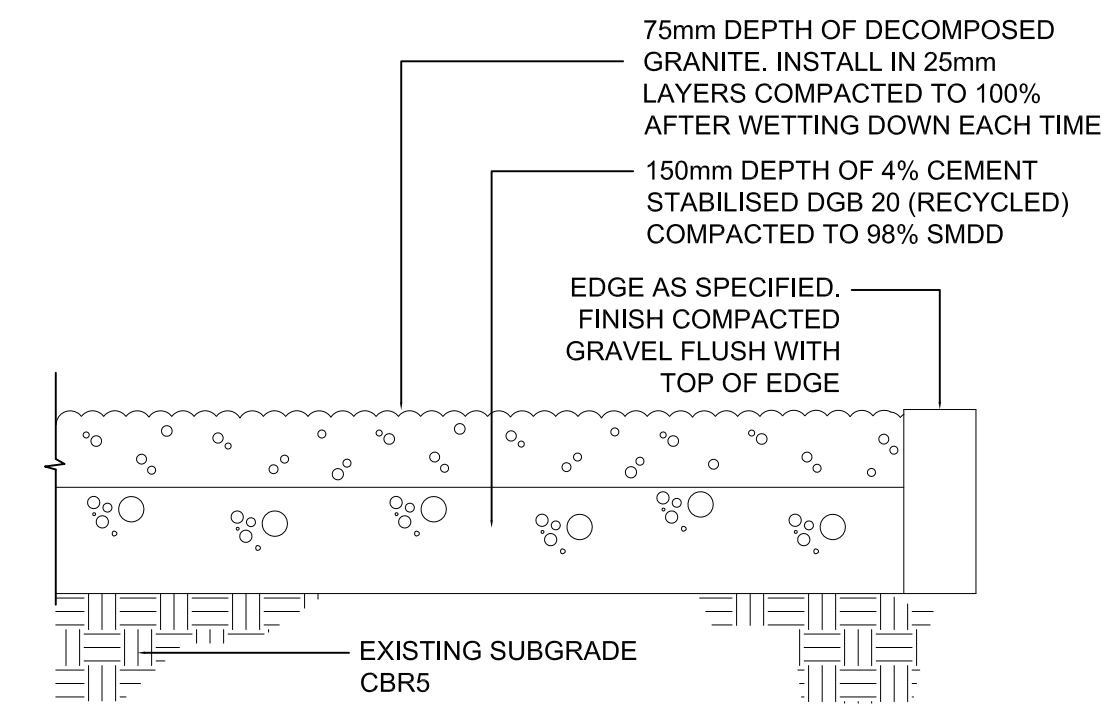
SEMI MATURE TREE PLANTING
TYPICAL SECTION 1:20



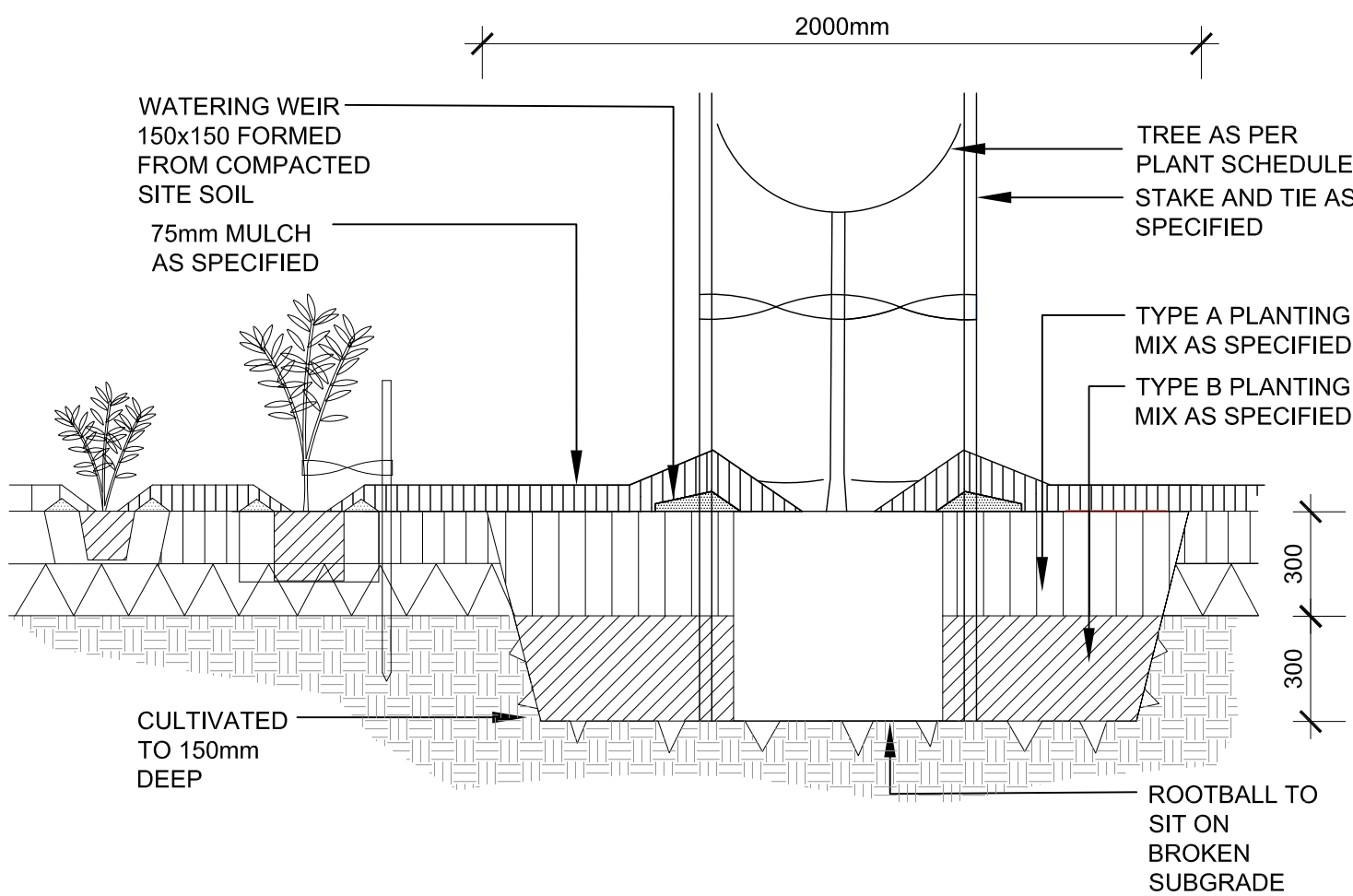
CONCRETE EDGE
TYPICAL SECTION 1:5



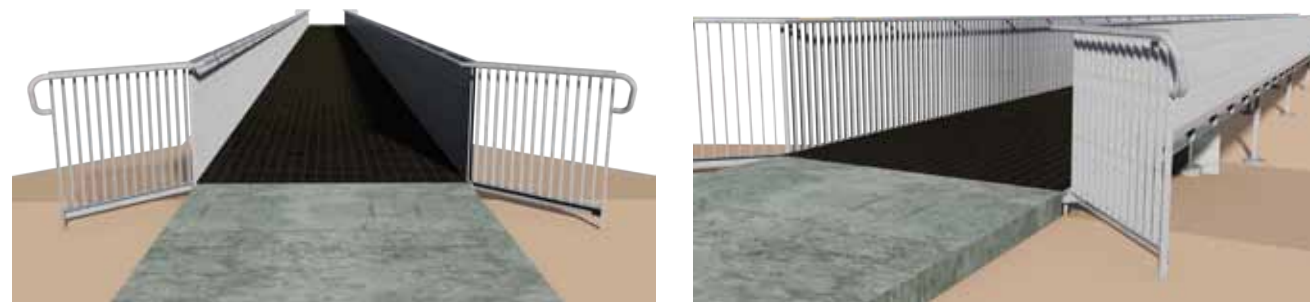
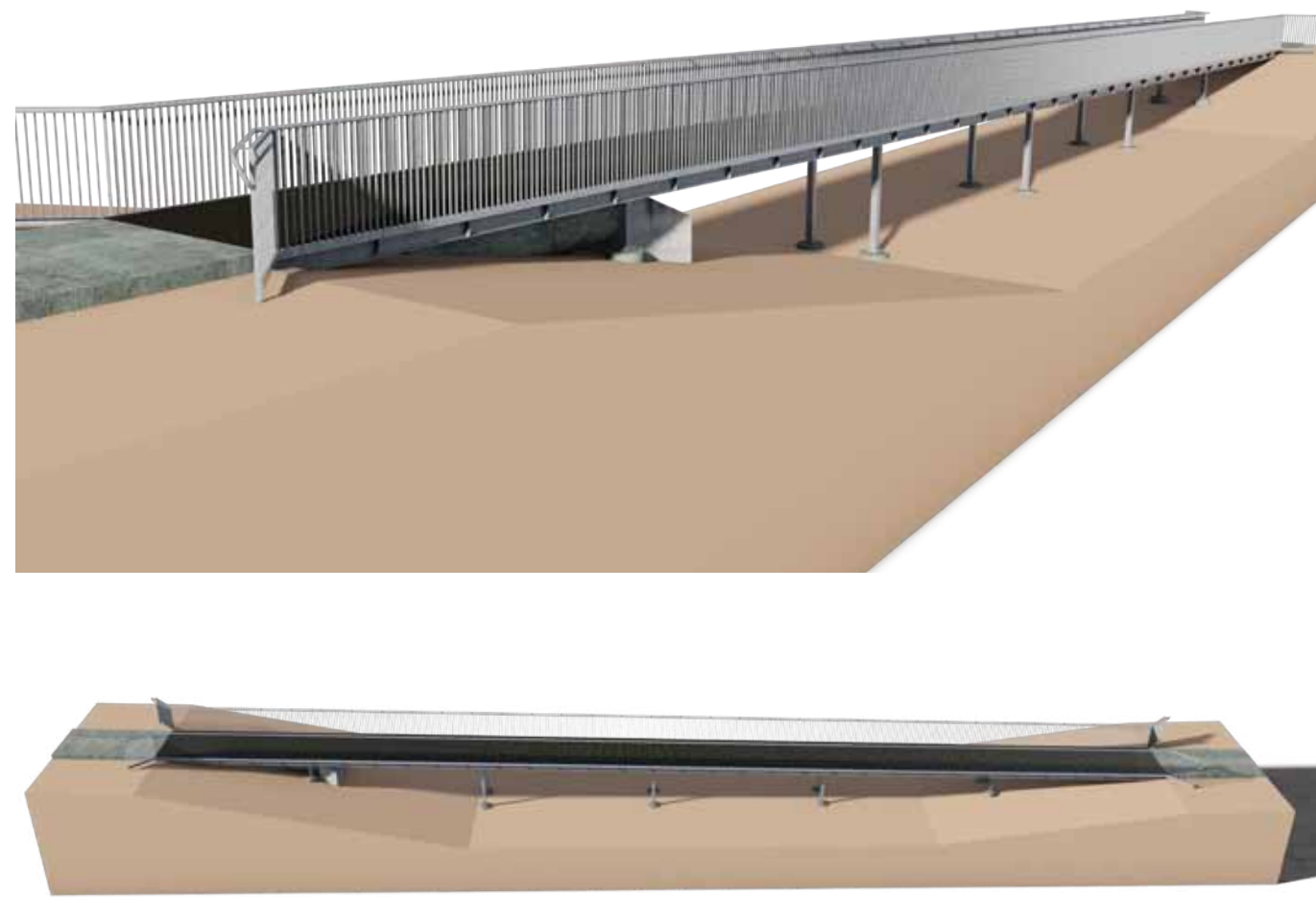
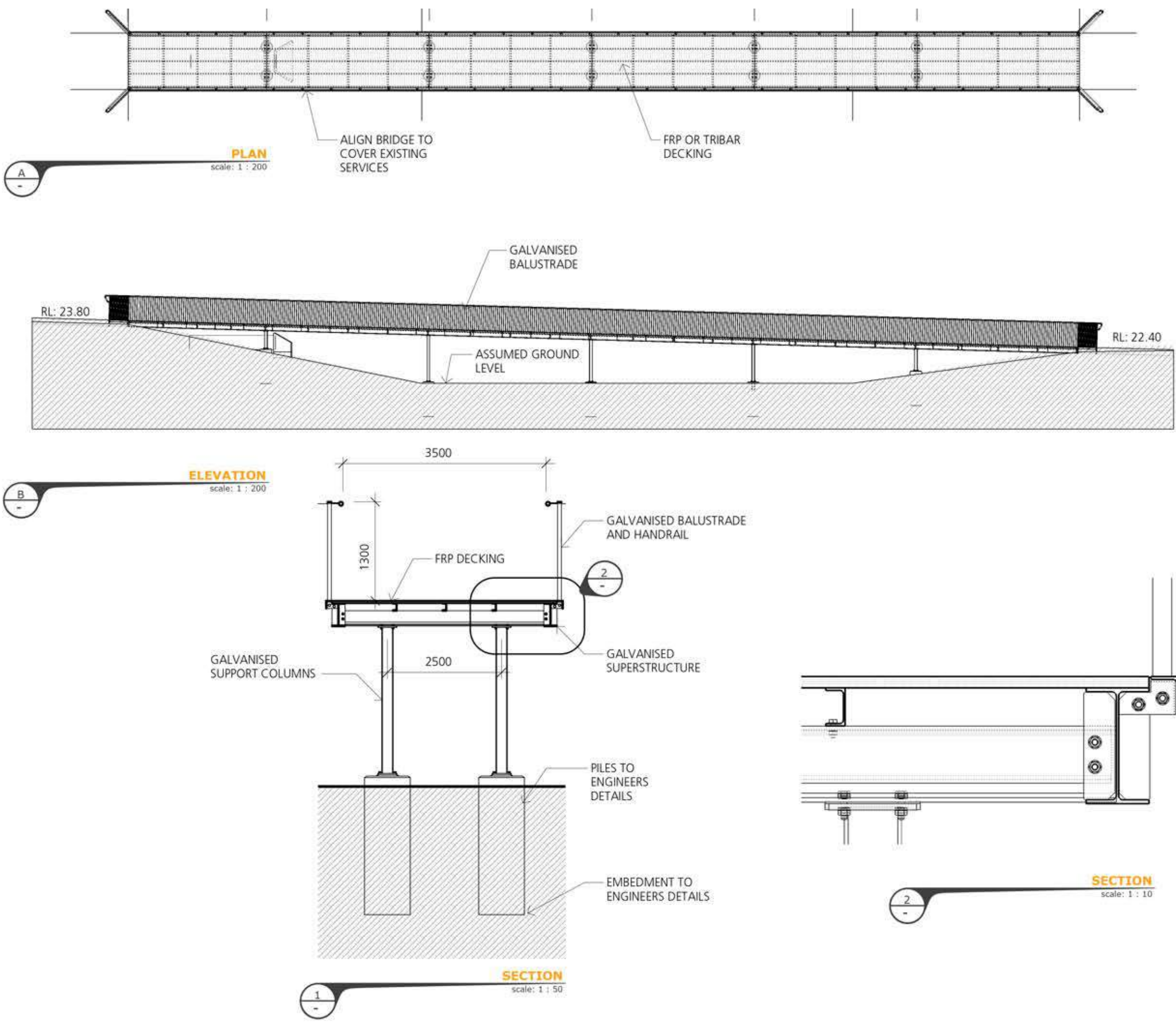
TURF
TYPICAL SECTION 1:20



DECOMPOSED GRANITE PAVING
SECTION 1:20



TREE PLANTING IN GARDEN BED
TYPICAL SECTION 1:20



Client



Project

Wooloware Bay Town Centre

Project No.

17-056W

Rev.

D

Drawn

AG

22.09.17

Date

DA SUBMISSION

Purpose

Title

Typical Landscape Construction & Bridge Details

Drawing No.

LC 12

Scale

As shown

Checked

JH

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SPECIFICATION NOTES

1.0 SERVICES

Before landscape work is commenced. The Landscape Contractor is to establish the position of all servicelines and ensure tree planting is to be carried out at least 3 metres away from these services. Service lids, vents and hydrants shall be left exposed and not covered by any landscape finishes (turfing, paving, garden beds etc.) Finish adjoining surfaces flush with pit lids.

Dial Before You Dig - It is the landscape contractor's full responsibility to complete a full services search and take all required measures to ensure protection of these services including potholing to confirm locations. The client in no way will be held responsible for any damage caused to services as a result of the contract works.

Excavation
Do not excavate by machine within 1m of existing underground services.

2.0 SOILS

MASS PLANTING MIXTURE
Shall be LANDSCAPE MIX (AS4419) for mass planting beds. Available from Soilco, Ph (02) 4272 9944

TURF
Turf Underlay shall be a mix of 40% Double washed river sand, 20% composted Greenwaste, 20% nitro humus, 20% soil equivalent to Greenlife Lawn Top Dressing & Turf Underlay as produced by Australian Native Landscapes or approved equivalent. Spread 100mm of Turf Underlay as specified and finish flush with adjacent finished surface levels.
Provide a one (1)kg sample of imported topsoil mixes, if required, for approval. No imported topsoil shall be delivered to site prior to approval of the sample provided.

TOPDRESSING
Topdress material shall be as specified in AS 4419 - 1999. Topdress material shall be clean washed river sand, free from any clay lumps, clods, weeds, tree roots, sticks, organic matter, rubbish and material toxic to plant growth and the like, and shall have a neutral pH and minimal salt content (measured oven dry of 0.1%).

3.0 MULCH

APPLICATION: Place mulch to the required depth, (refer to drawings clear of plant stems, and rake to an even surface finishing 25mm below adjoining levels. Ensure mulch is watered in and tamped down during installation.
MASS PLANTING BED: Shall be COTTAGE MULCH. Available from Soilco, Ph (02) 4272 9944
PLAYGROUND: Shall be ECOSAFE CERTIFIED SOFTFALL. Available from Soilco, Ph (02) 4272 9944

4.0 PLANTS

SUPPLY
The Landscape Contractor is responsible for organising the delivery of plant stock to site and checking plant stock prior to accepting delivery on site to ensure the plants supply possess the following characteristics:
• Large healthy root systems, with no evidence of root curl, restriction or damage.
• Vigorous, well established, free from disease and pests, of good form consistent with the species or variety.
• Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site.
• Trees must, unless required to be multi-stemmed, have a single leading shoot.
• Any plants or trees that are accepted by the landscape contractor that do not meet this specification will be replaced at the contractor's expense.
Replacement: Replace damaged or failed plants with plants of the same type and size.

PLANTING
Do not plant in unsuitable weather conditions such as extremes of heat or cold, wind or rain. Before planting begins, complete cultivation, soil placement, fertilisation etc as previously specified.
Before plants are installed all pot sizes shall have their roots pruned with an appropriate, clean, sharp instrument to eliminate any root confusion occurring at edge of pot zone.
Before planting begins, thoroughly water the plants and the planting area. Keep the area and plants moist during planting. Water the plants immediately after planting, and thereafter as required to maintain growth rates free of stress.
The contractor shall give notice, of not less than 24 hours, for inspections as nominated in inspect and hold point schedule

ROOT PRUNING OF TREES
Remove tree from container and root prune 20mm on sides and bottom to ensure all circling roots have been either severed or aligned radially into the surrounding soil. Plant as per detail.

5.0 TURF

Turf shall be of even thickness free from weeds and other foreign matter, lay in stretcher pattern with joints staggered and close butted. Deliver turf on site within 24 hours of being cut, and lay within 36 hours or being cut. Prevent it from drying out between cutting and laying.
Establishment
Watering: Water as necessary to keep soil moist to a depth of 100mm.
Protection: Protect newly turfed areas against traffic until grass is established.
Making Good: Lift failed turf and relay with new turf.
Fertilising: Two weeks after laying, fertilise turf as specified.
Topdressing : When the turf is established, lightly topdress to a depth of 10mm with topdress material as specified.
Rub the dressing well into the joints and correct any unevenness of surface
Mowing: When the turf is established, mow at regular intervals to maintain an average height of 50mm.
- TURF TYPE: Sir Walter Soft Leaf Buffalo
Recommended Supplier: A registered Turf grower to be approved by the Landscape Architect.

6.0 FERTILISER

MASS PLANTING AREAS
Type: Nutricote Standard Black 270 Day (16: 4.4: 8.3)
Installation: Evenly distribute 5g per litre (rootball size) of fertiliser onto backfill area around rootball prior to placing mulch.
TREE PLANTING
Type: Nutricote Standard Brown 360 Day blend (16: 4.4: 8.3)
Installation: Distribute 5g per litre (rootball size)of fertiliser into backfill around rootball. Apply in 3 evenly spread layers as hole is filled. First layer is to be half way up the rootball, second layer 3/4 up the rootball and third layer 50-100mm from the soil finished surface level. This application ensures that the nutrients leeches evenly downwards into the soil profile and encourages outward root system growth.
TURF
Kikuyu: Yates Dynamic Lifter Turf Lifter (10: 4: 6)
Installation: Evenly spread and mix 50g of fertiliser per m2 into topsoil prior to placing turf.

7.0 STAKING AND TYING

Stakes shall be straight plantation grown hardwood, free from knots and twists, pointed at one end and sized according to size of plants to be staked.
a. 5-15 litre size plant 1x(1200x25x25mm)
b. 35-75 litre size plant 2x(1500x38x38mm)
c. 100-greater than 200 litre 3x(1800x50x50mm)
Ties shall be 50mm wide hessian webbing or approved equivalent nailed or stapled to stake. Drive stakes a minimum one third of their length, avoiding damage to the root system, on the windward side of the plant.

8.0 TREE PROTECTION

TYPE: Root Stop Root Barrier
PRODUCT CODE: RS600
LOCATION: Street tree plantings
SIZE: 600mm deep roll
SUPPLIER: Arbor Green (Tel: 1300 760 642)
INSTALLATION: The top of root control barrier to be located 150mm closer to the street tree trunk than the base of the root control barrier. The angling of the root control barrier encourages root growth in a downward direction.

9.0 FENCING

Type 1 (to playground): Custom timber and steel design with timber posts @ 3m centres for earthing
Height: 1200mm

Type 2 (to Sharks Stadium): Palisade fence with timber posts @ 3m centres for earthing
Finish: powder coated
Colour: black
Height: 2000mm

10.0 GEOTEXTILE

Type: Polymeric fabric formed from a plastic yarn composed of at least 85% by weight of propylene, ethylene, amide or vinylidenechloride and containing stabilisers or inhibitors to make the filaments resistant to deterioration due to ultraviolet light.
Identification and marking: To AS 3705.
Product: Bidim A34
Recommended Supplier: Geofabrics Australia (Tel: 02 9821 3277).

MAINTENANCE PROGRAM

Maintenance shall mean the care and maintenance of the landscape works by accepted horticultural practice as rectifying any defects that become apparent in the landscape works under normal use. This shall include, but shall not be limited to, watering, mowing, fertilising, reseeding, returfing, weeding, pest and disease control, staking and tying, replanting and plant replacement, cultivation, pruning, aerating, renovating, topdressing, maintaining the site in a neat and tidy condition as follows:

1.0 GENERAL

The Landscape Contractor shall maintain the landscape works for the term of the maintenance (or plant establishment) period to the satisfaction of the Landscape Architect and Client. The Landscape Contractor shall attend to the site on a weekly basis. The maintenance period shall commence at practical completion and continue for a period of twenty Six (26) weeks.

2.0 WATERING

Grass and trees shall be watered regularly so as to ensure continuous healthy growth. Street trees and larger plant stock are to be watered through the top of the rootball to ensure a thorough soaking of the plant rootball. Watering of street trees shall be carried out on a weekly basis throughout the maintenance period regardless of rainfall.

3.0 RUBBISH REMOVAL

During the term of the maintenance period the Landscape Contractor shall remove rubbish that may occur and reoccur throughout the maintenance period. This work shall be carried out regularly so that at weekly intervals the area may be observed in a completely clean and tidy condition.

4.0 REPLACEMENTS

The Landscape Contractor shall replace all plants that are missing, unhealthy or dead at the Landscape Contractor's cost. Replacements shall be of the same size, quality and species as the plant that has failed unless otherwise directed by the Landscape Architect. Replacements shall be made on a continuing basis not exceeding two (2) weeks after the plant has died or is seen to be missing. The landscape contractor is to report any evidence of theft or vandalism to the Landscape Architect within one day of them occurring.

5.0 STAKES AND TIES

The Landscape Contractor shall replace or adjust plant stakes and tree guards as necessary or as directed by the Landscape Architect. Remove stakes and ties at the end of the maintenance period if so directed.

6.0 PRUNING

Trees and shrubs shall be pruned as directed by the Landscape Architect. Pruning will be directed at the maintenance of the dense foliage or miscellaneous pruning beneficial to the condition of the plants. Any damaged growth shall be pruned. All pruned material shall be removed from the site.

7.0 MULCHED SURFACES

All mulched surfaces shall be maintained in a clean and tidy condition and be reinstated if necessary to ensure that a depth of 75mm is maintained. Ensure mulch is kept clear of plant stems at all times.

8.0 PEST AND DISEASE CONTROL

The Landscape Contractor shall spray against insect and fungus infestation with all spraying to be carried out in accordance with the manufacturer's directions. Report all instances of pests and diseases (immediately that they are detected) to the Landscape Architect prior to spraying.

9.0 GRASS AND TURF AREAS

The Landscape Contractor shall maintain all grass and turf areas by watering, weeding, reseeding, rolling, mowing, trimming or other operations as necessary.
Apply lawn fertiliser as specified in fertilisers at the completion of the first and the last mowing, and at times as necessary to maintain healthy grass cover. Carry out last mowing and fertilisation not less than seven (7) days before the end of the maintenance period. Remove grass clippings from site. Grass and turf areas shall be sprayed with approved selective herbicide against broad leafed weeds as required by the Landscape Architect and in accordance with the manufacturer's directions.
No fertiliser is to be used on turf areas.
Grass and turf areas shall be kept mown to maintain a healthy and vigorous sward within the 30-75mm range, average 50mm.

10.0 WEED ERADICATION


Eradicate weeds by environmentally acceptable methods using a non-residual glyphosate herbicide (eg: 'Roundup') in any of its registered formulae, at the recommended maximum rate. Regularly remove by hand, weed growth that may occur or recur throughout grassed, planted and mulched areas. Remove weed growth from an area 1000mm diameter around the base of trees in grassed areas. Continue eradication throughout the course of the works and during the maintenance period.

11.0 SOIL SUBSIDENCE

Any soil subsidence or erosion which may occur after the soil filling and preparation operations shall be made good by the Landscape Contractor at no cost to the client.

12.0 COMPLETION

Notwithstanding anything to the contrary in the Contract, The Landscape Architect may instruct the Landscape Contractor to perform urgent maintenance works. Should the Landscape Contractor fail to carry out these works within seven (7) days of such a notice, the Principal reserves the right to employ others to carry out such works and charges costs of these works to the Landscape Contractor.

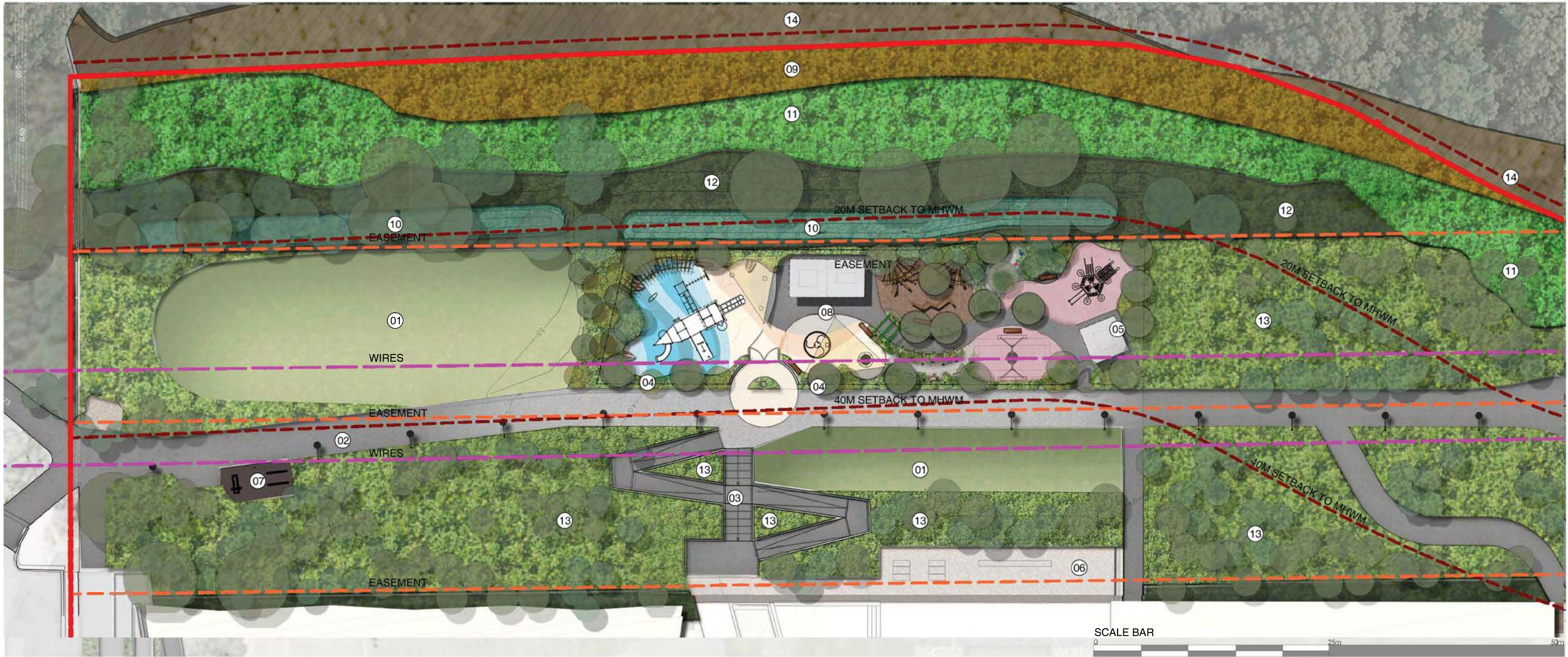
Client	Project	Project No.	Rev.	Drawn	Date	Purpose
	Woolooware Bay Town Centre	17-056W	D	AG	22.09.17	DA SUBMISSION
	Title	Drawing No.	Scale	Checked		
	Landscape Specification Notes and Maintenance Program	LC 13	NTS	JH		

Woollooware Bay Town Centre

Foreshore Park - Section 75W

Indicative Drawings For Information Only

Project H8-16033
Rev. S
Date September 2017
Issue S75W Application



Foreshore Park Illustrative Plan



Key Plan

KEY

- 01 Open turf area
- 02 Foreshore shared pathway (Width 4.0m)
- 03 1:21 Ramp to residential building
- 04 Fence along playground perimeter
- 05 BBQ and seating

KEY

- SITE BOUNDARY
- STAGE BOUNDARY
- HV CABLES
- HV CABLES EASEMENT
- MHWL

- 06 Public Toilet
- 07 Fitness station
- 08 Touched By Olivia playground with range of accessible play equipment
- 09 Salt Marsh Planting Refer to planting schedule
- 10 Swale Planting Refer to planting schedule
- 11 Lower Riparian Planting Refer to planting schedule
- 12 Upper Riparian Planting Outside Easement Refer to planting schedule
- 13 Upper Riparian Planting Inside Easement Refer to planting schedule
- 14 Foreshore Rehabilitation Area Note: Foreshore rehabilitation works subject to separate approval



PLAYGROUND IMAGES



LAWN IMAGES



SHARED PATHWAY IMAGES

Client



Project

Woolooware Bay Town Centre

Project No.
H8-16033

Drawn
HP

Revision
S

Date
03.09.17

Purpose
S75W Application

Title

Foreshore Park Illustrative Plan

Drawing No.
L002

Scale
1:200@A1

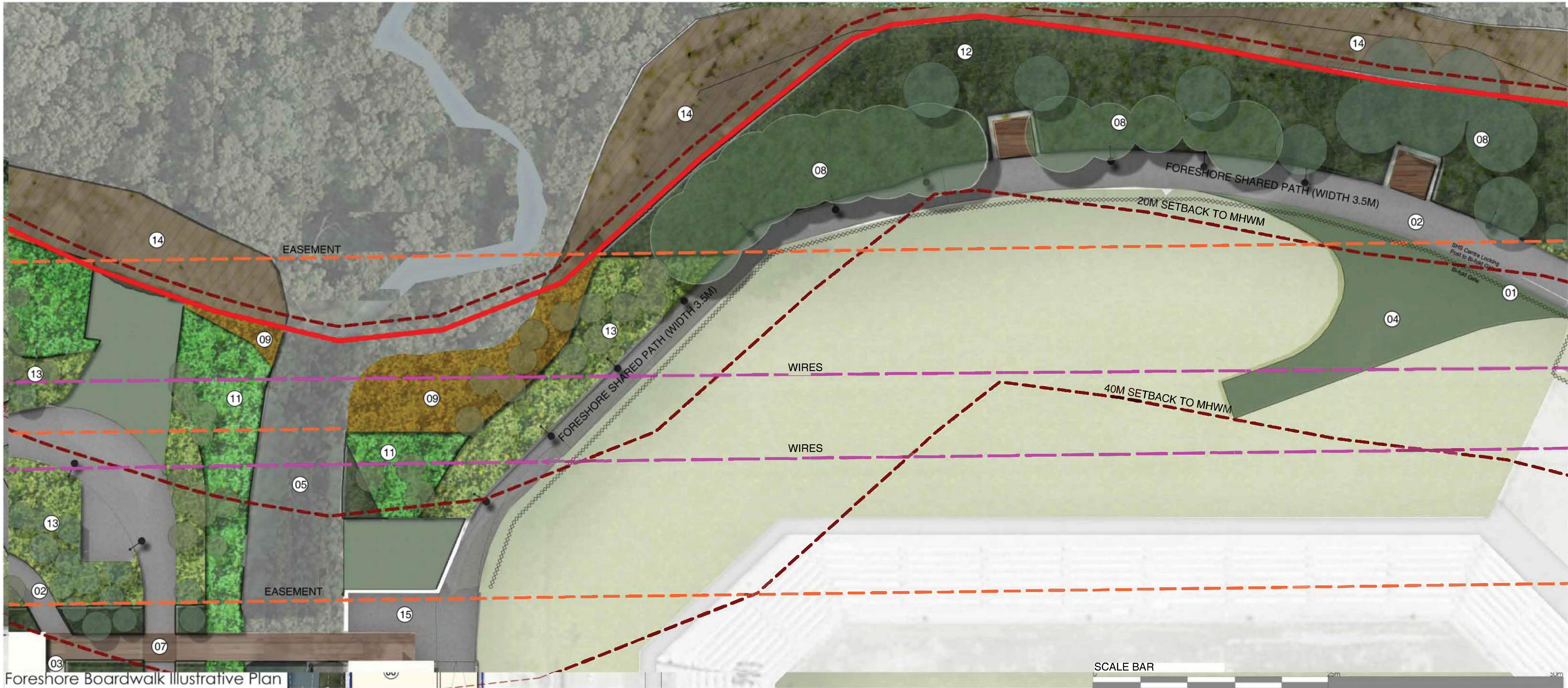
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Indicative Drawings For Information Only

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Surry Hills, NSW 2010
ABN: 19 164 285 250





Foreshore Boardwalk Illustrative Plan



Key Plan

Key

- 01 1.8m Palisade fence
- 02 Foreshore shared pathway (Width 4.0m)
- 03 Access to building
- 04 Permeable paving below
- 05 Drainage channel

KEY

- SITE BOUNDARY
- STAGE BOUNDARY
- HV CABLES
- HV CABLES EASEMENT
- MHWL

- 06 Proposed Club Compound
- 07 Bridge across drainage channel 4 m wide
- 08 Existing trees to be retained
- 09 Salt Marsh Planting Refer to planting schedule
- 10 Swale Planting (Not on this plan) Refer to planting schedule
- 11 Lower Riparian Planting Refer to planting schedule
- 12 Upper Riparian Planting Outside Easement Refer to planting schedule
- 13 Upper Riparian Planting Inside Easement Refer to planting schedule

- 14 Foreshore Rehabilitation Area Note: Foreshore rehabilitation works subject to separate approval
- 15 Emergency vehicle turning area





Retail Foreshore Park Illustrative Plan



Key Plan

KEY

- 01 Substation
- 02 Foreshore shared pathway (Width 4.0m)
- 03 New mangrove timber boardwalk
- 04 Seating Area
- 05 Extended access road(Permeable paving for grass)

KEY

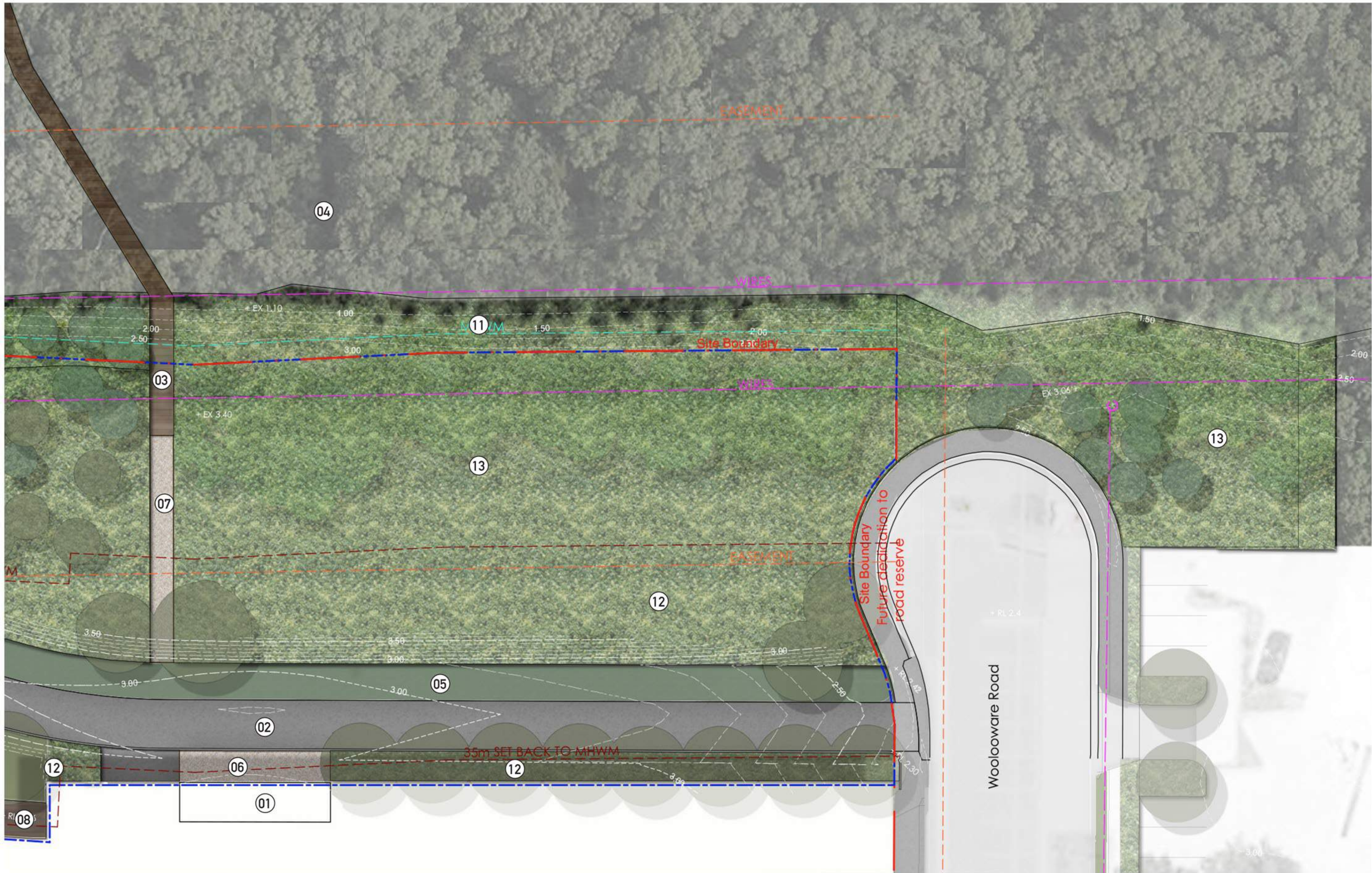
- SITE BOUNDARY
- STAGE BOUNDARY
- HV CABLES
- HV CABLES EASEMENT
- MHWM

- 06 Gravel paving around Substation
- 07 Gravel footpath
- 08 Boardwalk/platform to building facade and through site link
- 09 Salt Marsh Planting Refer to planting schedule
- 10 Swale Planting Refer to planting schedule

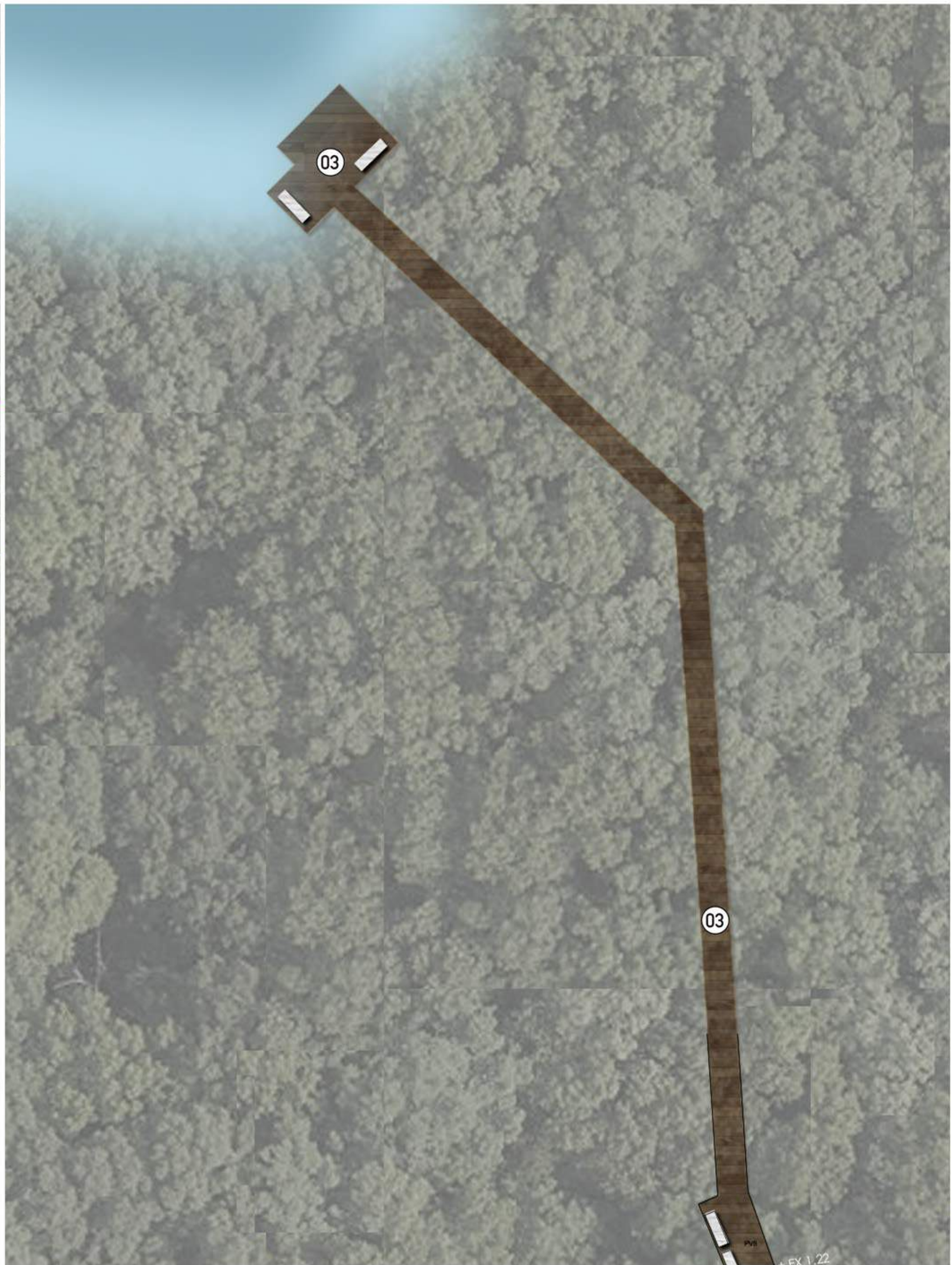
- 11 Lower Riparian Planting Refer to planting schedule
- 12 Upper Riparian Planting Outside Easement Refer to planting schedule
- 13 Upper Riparian Planting Inside Easement Refer to planting schedule
- 14 Foreshore Rehabilitation Area Note: Foreshore rehabilitation works subject to separate approval

- 15 Steel mesh panels to base of bridge structure with planting
- 16 Open turf area
- 17 Grass in embankment

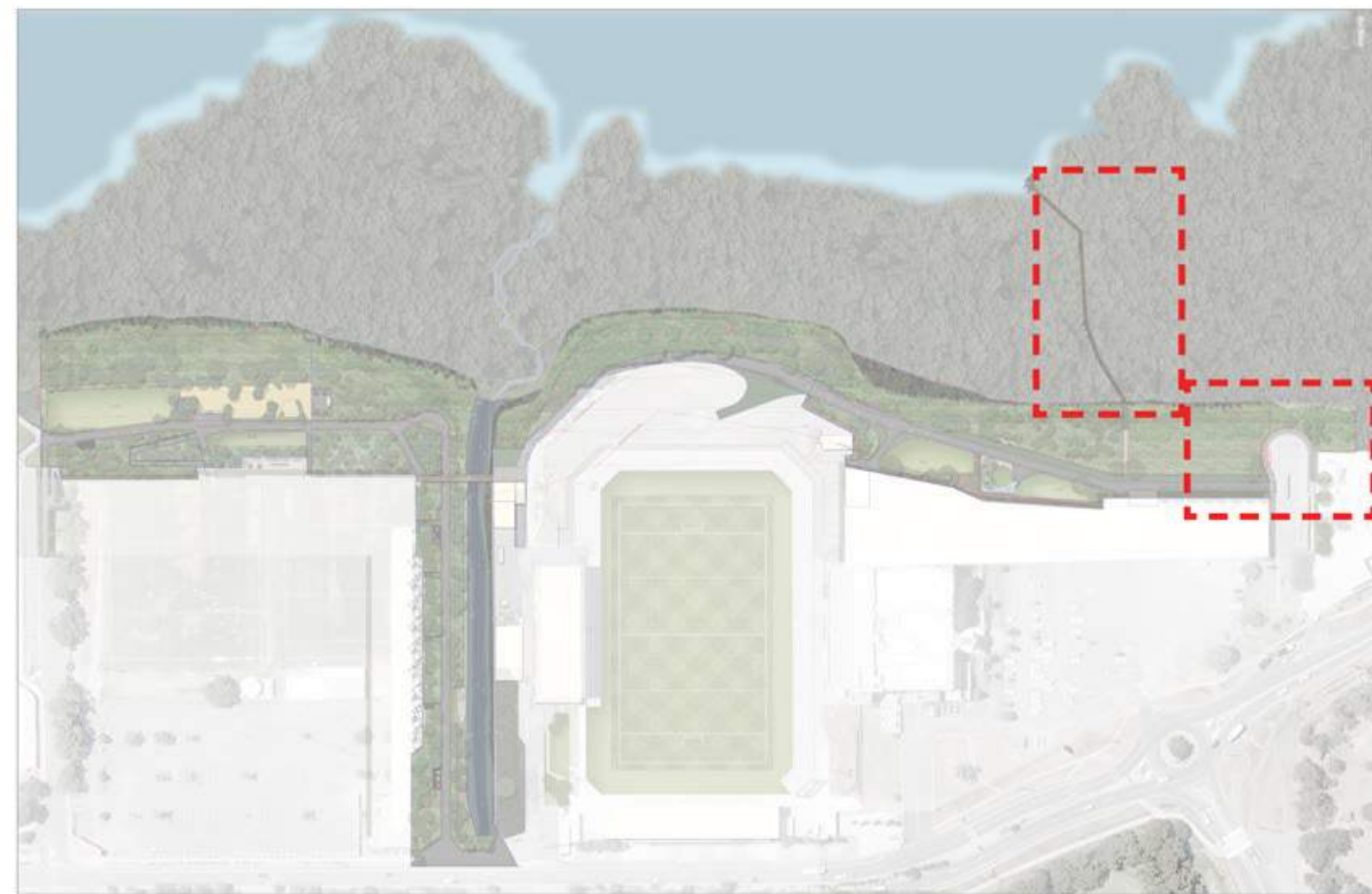




Retail Foreshore Park Illustrative Plan



Mangrove Timber Board Walk



Key Plan

KEY

- 01 Substation
- 02 Foreshore shared pathway (Width 4.0m)
- 03 New mangrove timber boardwalk
- 04 Existing mangroves
- 05 Extended access road(Permeable paving for grass)

KEY

- SITE BOUNDARY
- STAGE BOUNDARY
- HV CABLES
- HV CABLES EASEMENT
- MHWL

- 06 Gravel paving around Substation
- 07 Gravel footpath
- 08 Boardwalk/platform to building facade and through site link
- 09 Salt Marsh Planting
Refer to planting schedule
- 10 Swale Planting
Refer to planting schedule

- 11 Lower Riparian Planting
Refer to planting schedule
- 12 Upper Riparian Planting Outside Easement
Refer to planting schedule
- 13 Upper Riparian Planting Inside Easement
Refer to planting schedule





Swale and Drainage Channel Illustrative Plan




Key Plan

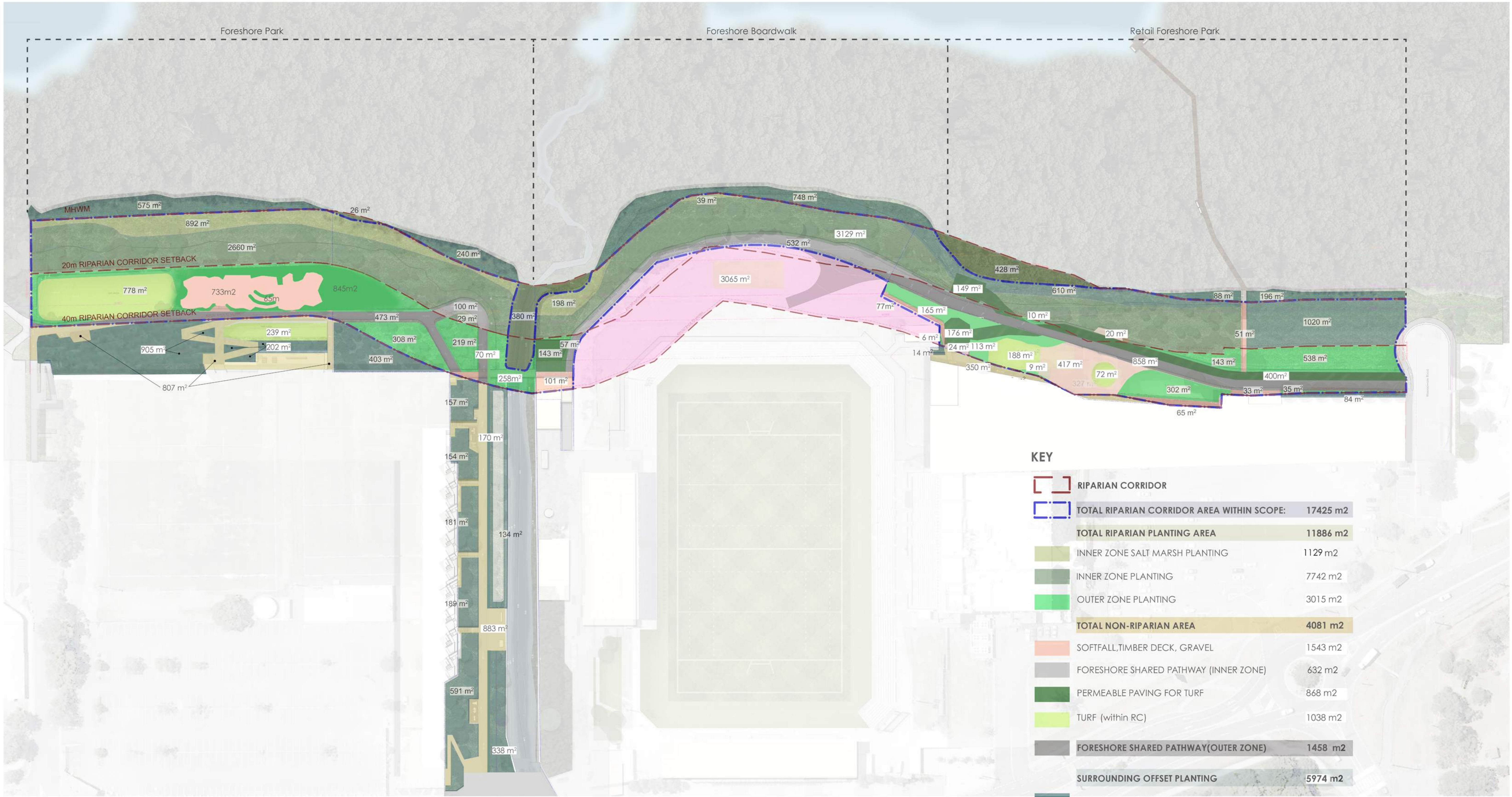
- KEY
- ① Substation
 - ② Foreshore shared pathway (Width 4.0m)
 - ③ New sheet pile wall
 - ④ Existing Mangroves
 - ⑤ Extended access road(Permeable paving for grass)
 - ⑥ Drainage channel
 - ⑦ Gravel paving around Substation/Switch board
 - ⑧ Fitness Station
 - ⑨ Salt Marsh Planting
Refer to planting schedule
 - ⑩ Swale Planting
Refer to planting schedule
 - ⑪ Lower Riparian Planting (Not on this plan)
Refer to planting schedule
 - ⑫ Upper Riparian Planting Outside Easement
Refer to planting schedule
 - ⑬ Upper Riparian Planting Inside Easement
Refer to planting schedule



DESIGN IMAGES

Client	Project	Project No.	Drawn	Revision	Date	Purpose
	Woollooware Bay Town Centre	H8-16033	HP	S	03.09.17	S75W Application
	Title	Drawing No.	Scale	Checked		
	Swale & Drainage Channel Illustrative Plan/Sections/Images	L006	1:200@A1	DV		

Indicative Drawings For Information Only



KEY	
	RIPARIAN CORRIDOR
	TOTAL RIPARIAN CORRIDOR AREA WITHIN SCOPE: 17425 m2
	TOTAL RIPARIAN PLANTING AREA 11886 m2
	INNER ZONE SALT MARSH PLANTING 1129 m2
	INNER ZONE PLANTING 7742 m2
	OUTER ZONE PLANTING 3015 m2
	TOTAL NON-RIPARIAN AREA 4081 m2
	SOFTFALL,TIMBER DECK, GRAVEL 1543 m2
	FORESHORE SHARED PATHWAY (INNER ZONE) 632 m2
	PERMEABLE PAVING FOR TURF 868 m2
	TURF (within RC) 1038 m2
	FORESHORE SHARED PATHWAY(OUTER ZONE) 1458 m2
	SURROUNDING OFFSET PLANTING 5974 m2
	SURROUNDING RIPARIAN OFFSET PLANTING 3722 m2
	MANGROVE REHABILITATION AREA 2252 m2
Note: Mangrove rehabilitation works subject to separate approval	
	Non-Riparian Planting (Outside Corridor) 2040 m2
	EXISTING VEGETATION AREA WITHIN RC 834 m2
	AREA OUTSIDE SCOPE 3065 m2
	TURF (Outside RC) 239 m2

Client	Project	Project No.	Drawn	Revision	Date	Purpose
	Woollooware Bay Town Centre	H8-16033	HP	S	03.09.17	S75W Application
	Title	Drawing No.	Scale	Checked	Indicative Drawings For Information Only	
	Riparian Corridor Analysis	L007	N/A	DV		

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